



County of Fairfax, Virginia

To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County

December 3, 2014

Elizabeth D. Baker
Walsh, Colucci, Lubeley & Walsh, P.C.
2200 Clarendon Boulevard, 13th Floor
Arlington, VA 22201

RECEIVED
Department of Planning & Zoning

JAN 30 2015

Zoning Evaluation Division

RE: Rezoning Application RZ 2014-PR-004
(Concurrent with Proffered Condition Amendment Application PCA 88-D-005-08)

Dear Ms. Baker:

Enclosed you will find a copy of an Ordinance adopted by the Board of Supervisors at a regular meeting held on December 2, 2014, granting Rezoning Application RZ 2014-PR-004 in the name of Amherst Property LLC. The Board's action rezones certain property in the Providence District from the C-3 District to the PTC District to permit mixed use with an overall density of 1.8, which includes bonus density for workforce housing, and a waiver #25530-WPFM-001-1 to permit the location of underground stormwater management facilities in a residential area. The subject property is located W. of Jones Branch Drive, approximately 400 feet N. of its intersection with Westpark Drive on approximately 5.75 acres of land, [Tax Map 29-4 ((7)) 6 and 7B pt.], subject to the proffers dated November 7, 2014.

Please note that on November 6, 2014, the Planning Commission approved Final Development Plan Application FDP 2014-PR-004.

The Board:

- Approved a waiver to allow the use of underground stormwater management and best management practices in a residential development (25530-WPFM-001-1) subject to the Conditions dated June 10, 2014, contained in Attachment A of Appendix 11 of the staff report
- Waived Section 2-505 of the Zoning Ordinance to permit structures and vegetation on a corner lot as shown on the CDP and FDP
- Waived Paragraph 1 of Section 6-506 of the Zoning Ordinance to permit a minimum district size of less than 10 acres for a PTC zoned parcel

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- Modified Section 2-506 of the Zoning Ordinance to allow for a parapet wall, cornice or similar projection to exceed the height limit established by more than three feet as may be indicated on the FDP to screen mechanical equipment
- Waived Section 17-201(3)(b) of the Zoning Ordinance to provide any additional interparcel connections to adjacent parcels beyond that shown on the Plans and as proffered
- Modified Zoning Ordinance Section 17-201 and Public Facilities Manual (PFM) Section 8-0201.3 to waive all trails and bike trails in favor of the streetscape and on-road bike lane system shown on the plans
- Waived Section 17-201(7) of the Zoning Ordinance to allow establishment of parking control, signs and parking meters along private streets within the development
- Waived Section 17-201(4) of the Zoning Ordinance requiring any further dedication and construction for widening of existing roads to address Comprehensive Plan requirements beyond that which is indicated in the Plans and proffers
- Waived and/or modified Section 13-202 of the Zoning Ordinance and 120514.2 of the PFM requiring five percent interior parking lot landscaping in favor of that shown on the CDP/FDP
- Modified PFM Section 12-0515b minimum planter opening area for trees used to satisfy the tree cover requirement in favor of that shown on the CDP/FDP
- Approved modification to allow trees located above any proposed percolation trench or bioretention areas to count towards County tree cover requirements as depicted on the CDP/FDP
- Modified the 10 year tree canopy requirements in favor of that shown on the Plans and as proffered
- Modified the Zoning Ordinance and PFM for required tree preservation target and ten percent canopy to be calculated as shown on the overall CDP

Sincerely,



Catherine A. Chianese
Clerk to the Board of Supervisors

Cc: Chairman Sharon Bulova
Supervisor Linda Smyth, Providence District
Tim Shirocky, Acting Director, Real Estate Division, Dept. of Tax Administration
Barbara Berlin, Director, Zoning Evaluation Division, DPZ
Diane Johnson-Quinn, Deputy Zoning Administrator, Dept. of Planning and Zoning
Thomas Conry, Dept. Manager – GIS - Mapping/Overlay
Michael Davis, Section Chief, Transportation Planning Division
Donald Stephens, Transportation Planning Division
Department of Highways-VDOT
Sandy Stallman, Park Planning Branch Manager, FCPA
Charlene Fuhrman-Schulz, Development Officer, DHCD/Design Development Division
Jill Cooper, Executive Director, Planning Commission
Ajay Rawat, Coordinator, Facilities Planning, Fairfax County Public Schools
Karyn Moreland, Chief Capital Projects Sections, Dept. of Transportation

At a regular meeting of the Board of Supervisors of Fairfax County, Virginia, held in the Board Auditorium in the Government Center at Fairfax, Virginia, on the 2nd day of December, 2014, the following ordinance was adopted:

**AN ORDINANCE AMENDING THE ZONING ORDINANCE
PROPOSAL NUMBER RZ 2014-PR-004
(Concurrent with Proffered Condition Amendment Application PCA 88-D-005-08)**

WHEREAS, Amherst Property LLC, filed in the proper form an application requesting the zoning of a certain parcel of land herein after described, from the C-3 District to the PTC District, and

WHEREAS, at a duly called public hearing the Planning Commission considered the application and the propriety of amending the Zoning Ordinance in accordance therewith, and thereafter did submit to this Board its recommendation, and

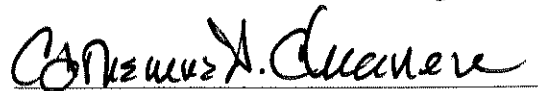
WHEREAS, this Board has today held a duly called public hearing and after due consideration of the reports, recommendation, testimony and facts pertinent to the proposed amendment, the Board is of the opinion that the Ordinance should be amended,

NOW, THEREFORE, BE IT ORDAINED, that that certain parcel of land situated in the Providence District, and more particularly described as follows (see attached legal description):

Be, and hereby is, zoned to the PTC District, and said property is subject to the use regulations of said PTC District, and further restricted by the conditions proffered and accepted pursuant to Va. Code Ann., 15.2-2303(a), which conditions are in addition to the Zoning Ordinance regulations applicable to said parcel, and

BE IT FURTHER ENACTED, that the boundaries of the Zoning Map heretofore adopted as a part of the Zoning Ordinance be, and they hereby are, amended in accordance with this enactment, and that said zoning map shall annotate and incorporate by reference the additional conditions governing said parcel.

GIVEN under my hand this 2nd day of December, 2014.

A handwritten signature in black ink, appearing to read "Catherine A. Chianese", written over a horizontal line.

Catherine A. Chianese

Clerk to the Board of Supervisors

Amherst Property, LLC

RZ 2014-PR-004

November 7, 2014

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PROFFERS

Amherst Property, LLC

RZ 2014-PR-004

November 7, 2014

Pursuant to Section 15.2-2303(A) of the Code of Virginia (1950, as amended) and Section 18-204 of the Zoning Ordinance of Fairfax County (1978, as amended), the property owners and Applicant, for themselves and their successors and/or assigns (hereinafter referred to as the "Applicant"), hereby proffer that the development of the parcels under consideration and shown on the Fairfax County tax maps as 29-4 ((7)) 6 and 7B pt. (collectively, the "Property") shall be in accordance with the following conditions if, and only if, Rezoning application 2014-PR-004 (this "Rezoning") is granted.

GENERAL

1. Conceptual Development Plan. The Property shall be developed in substantial conformance with the certain elements of 7915 Jones Branch Drive Conceptual/Final Development Plan ("CDP/FDP/FDP") dated February 3, 2014 and revised through October 2, 2014 prepared by VIKA Virginia, LLC, Design Collective, Inc. and Parker Rodriguez.
2. Proffered CDP Elements. It shall be understood that the proffered elements of the CDP are limited to the grid of streets, general location of the points of access, general location of the building, general mix of uses, minimum and maximum gross floor area ("GFA"), minimum and maximum building heights, build-to-lines, amount and general location and character of urban park land, and general quality and character of the streetscape (the "Proffered Elements"). The Applicant has the option to request a Final Development Plan Amendment ("FDPA") for elements other than the Proffered Elements in accordance with the provisions set forth in Section 16-402 of the Zoning Ordinance.
3. Minor Modifications. Minor modifications to the proffered elements of the CDP/FDP may be permitted when necessitated by sound engineering or that may become necessary as part of FDPA approval or final site design or engineering, pursuant to Section 16-403(4) of the Ordinance. The Applicant shall have the flexibility to modify the layout shown on the CDP/FDP without requiring approval of an amended CDP/FDP provided such changes are in substantial conformance with the CDP/FDP as determined by the Zoning Administrator. The building envelope, the number of dwelling units and floors, and the amount of square footage may be adjusted as set forth on the CDP/FDP and in these Proffers, as long as (i.) the building setbacks from the property lines as shown on the CDP/FDP are maintained; (ii.) the minimum and maximum number of residential units and the minimum and maximum building heights comply with those shown on the CDP/FDP; and (iii.) the redevelopment otherwise is in substantial conformance with the CDP/FDP and these Proffers.

4. Declarations/Owners Associations. The Applicant shall be obligated to provide for various proffer and maintenance obligations, including but not limited to, implementation, administration and funding of the TDM program, maintenance of the private streets and sidewalks, streetscapes and furnishings therein, publicly accessible park areas and any private utility systems (the "Obligations"). Should, in the future, the Property become part of a larger coordinated development with more than a single building, the Applicant shall cooperate with the other relevant building(s) in the recordation of an umbrella owners association ("UOA") or the equivalent in the form of one or more reciprocal easement and/or joint maintenance and/or joint development agreements, and other governance documents as necessary (collectively referred to as "UOA or equivalent") to provide for the implementation and administration of the Obligations. Upon request from the owner(s) of the larger coordinated development, the Applicant shall coordinate and cooperate in the submission of such governance documents to the Office of the County Attorney to ensure they provide for the various proffers and maintenance obligations not otherwise covered by separate agreement with Fairfax County and/or the Virginia Department of Transportation ("VDOT"). Said UOA or equivalent may be expanded to include other nearby properties. Prior to such time as a UOA or the equivalent is created, the Applicant shall be responsible for the implementation and administration of the Obligations.

PROPOSED DEVELOPMENT

5. Proposed Development. The minimum gross floor area ("GFA") to be constructed on the Property is 295,000 square feet and the maximum GFA permitted on the Property is 450,000 square feet (the "Proposed Development"). The primary use on the Property shall be residential. Non-Residential uses as identified in the development tabulations on Sheet C-2A of the CDP/FDP (the "Development Tabulations") may include any non-residential use permitted in the PTC District, as limited by Section 6-505 "use limitations," or uses accessory to the primary use. Such Non-Residential uses may include, but not be limited to, ATMs, business service and supply service establishments, quick service food stores, fast food restaurants, community uses, health clubs and similar commercial recreation uses, personal service establishments, professional offices, repair service establishments, retail sales establishments, financial institutions, eating establishments, educational and tutoring facilities, schools of special education, quasi-public uses, garment cleaning establishments and similar uses, and may be provided at the Applicant's sole discretion in areas shown on the CDP/FDP.

Uses allowed by special exception or special permit in the PTC District may be authorized through a separate special exception or special permit process without the need for a PCA or CDP/FDPA if layout is in substantial conformance with the CDP/FDP as determined by the Zoning Administrator.

6. Final Development Plan Amendments. Any FDPA approved for the Property shall establish the range of GFA, range in the number of dwelling units and mix of uses for the building within the limits established by these Proffers and the CDP/FDP. The specific GFA and number of dwelling units for the building shall be established at final site plan.

Should, in the future, the Property become part of a larger coordinated development with more than a single building, the Applicant shall provide with each FDP and site plan a tabulation listing of all existing buildings to remain and proposed buildings, along with the GFA, uses, final building heights, and parking approved on the CDP, FDP and site plan as may be applicable.

In addition, the following information shall be provided with each subsequent FDPA filed on the Property, subject to modification with concurrence from the Department of Planning and Zoning ("DPZ") based on the relevance of the item to the specific FDPA request.

- A. Tree Canopy Calculations. A tabulation indicating the tree canopy calculations of the Property.
- B. TDM Supplement. A copy of the previous TDM Annual Report, if available, to determine progress toward attaining TDM goals and any planned modifications to the TDM program.
- C. Functional Drawings/Sight Distance. Functional drawings to include proposed right-of-way lines associated with public streets; vehicular sight distance lines at all intersections within, and adjacent to, the FDPA area overlaid on the Landscape Plan; and details with respect to utilities and/or vegetation conflicts with building entrances and/or intersections as presented on the CDP.
- D. Utilities. Approximate location of existing and proposed utilities to serve the area of the FDPA including the location of the any utility vaults and stormwater management facilities overlaid on the Landscape Plan.
- E. Proposed Uses. A list of proposed uses and demonstration of how such uses meet the applicable "Use Limitations" of Section 6-505 of the Ordinance.
- F. Architectural Elements. Specific information on architectural elements, build-to lines, and building heights as provided in Proffers 10, 12 and 15.
- G. Streetscape. A graphic depiction of, and any adjustments to, the activated streetscape elements as provided in Proffer 13.
- H. Garage/Loading and Service Area Treatments. Proposed parking garage façade designs and refined loading and service area designs and treatments as provided in Proffers 13.
- I. Landscaping and Streetscape Furnishings. Detailed landscape plans as provided in Proffer 20 and submission of a "Streetscape Furnishing and Materials Plan" as provided in Proffer 21.
- J. Parks and Recreation. For on-site parks and active recreation facilities, depiction of special amenity features as provided in Proffer 43.

- K. Provisions for Bicycles. Bicycle parking and storage as provided in Proffer 33.
- L. Parking Spaces. Refinement of the number of parking spaces as provided in Proffer 36.
- M. Stormwater Management. Identification of the location and preliminary design of the stormwater management facilities including the access points to underground vaults as provided in Proffer 48.

Should, in the future, the Property become part of a larger coordinated development with more than a single building, the Applicant shall provide a tabulation indicating the development status of all property subject to the larger coordinated development with each FDPA and site plan submitted for the Property. The tabulation shall include a listing of all existing buildings to remain and proposed buildings, along with the GFA, uses, final building heights, and parking approved on the CDP, FDP and site plan as may be applicable and shall be updated with each subsequent FDP and site plan approved for the larger coordinated development.

7. Existing Structure and Interim Uses.

- A. Any use that is permitted in the C-3 District, including any special permit and/or special exception uses, may also be permitted as an interim use in the existing structure subject to the use limitations in Section 6-505. Parking for all interim uses shall be provided either in accordance with Article 11 of the Zoning Ordinance as permitted for C-3 uses or as permitted in the PTC District, at the Applicant's sole discretion.
- B. Commercial off-street parking may be provided on an interim basis in existing surface lots on the Property without approval of an FDP. Prior to issuance of a Non-RUP for commercial off-street parking, the Applicant shall provide an operational traffic analysis ("Operational Analysis") of the points of access to the parking lot(s) to the Fairfax County Department of Transportation ("FCDOT") and VDOT for review and approval. Such Operational Analysis shall be limited to an assessment of those driveways serving the parking lot and any proposed access controls.

8. Festivals, Fairs or Similar Activities. The Applicant, or their designee, shall be permitted to operate festivals, fairs or similar activities, including, but not limited to, farmers' markets and food vendors, on the Property, either in the existing surface parking lot or within publicly-accessible privately owned open space shown on the CDP/FDP. The Applicant shall coordinate with the Zoning Administrator regarding the issuance or approval of a temporary special permit as may be required under the Zoning Ordinance, which may include the establishment of an annual permit for continuing or seasonal events.

9. Fire Marshal Evaluation. Changes to the CDP/FDP shall be permitted in response to the review of site plans by the Fire Marshal, including adjustments to tree locations, the

streetscape and perimeter building areas as necessary to allow for required emergency vehicle access, without requiring approval of a PCA, CDPA or FDPA, provided such modifications are made in consultation with DPZ and are in substantial conformance with the CDP/FDP and these Proffers. While trees may be deleted or relocated in response to Fire Marshal requirements, this does not relieve the Applicant from meeting the 10-year tree canopy requirements as shown on the CDP/FDP.

ARCHITECTURAL AND URBAN DESIGN

10. Architectural Design. The architectural treatment of the proposed building shall create a sense of identity and place, and shall create human scale through the use of unifying elements such as materials, textures, color, window treatments, decorative details, lighting, and landscaping as illustrated in the CDP/FDP. The building shall be designed with high quality architecture and building materials as generally shown on Sheet A-4.0 of the CDP/FDP.
11. Bird Friendly Design Elements. In an effort to reduce bird injury and death due to in-flight collisions with buildings, the Applicant shall include one or more bird friendly design elements, as determined by the Applicant, in the design plans of the building on the Property. The bird friendly design elements may include, but not be limited to, the use of color, texture, opacity, fritting, frosting, patterns, louvers, screens, interior window treatments, or ultraviolet materials that are visible to birds, the angling of outside lights, curbing of excessive or unnecessary night-time illumination in commercial buildings, reduction of bird attracting vegetation, the use of decoys, and breaking of glass swaths. Nothing herein shall require the Applicant to obtain a bird-friendly LEED credit. Upon the issuance of a building permit, the provisions of this Proffer shall be deemed satisfied.
12. Build-to-Lines. Build-to-lines ("BTL") have been depicted on the CDP/FDP, to create an urban, pedestrian-oriented environment where the building is located close to the street and pedestrian/streetscape areas are located between the building and the streets. In general, building facades are intended to be configured in such a way as to provide a continuous street wall along this line, but modifications to either side of the BTL shall be permitted provided such are in general conformance with the CDP/FDP and are shown on an approved FDP and/or site plan. Awnings and other architectural canopies attached to the buildings shall not extend beyond the building zone, except as may be shown on the approved FDP. At the time of site plan, the Applicant shall identify possible locations along the street level, outside of the pedestrian sidewalk and landscape amenity panel, for areas for outdoor dining.
13. Activated Streetscapes and Ground Floor Elements. Activated streetscapes shall be provided by designing and constructing streetscapes and exterior facades of ground floor areas adjacent to streets as generally depicted on the CDP/FDP. Modifications and further refinements may be permitted with the approval of future FDPAs. The northeast corner of the building fronting the Jones Branch Drive/Street A intersection shall generally be designed and constructed with a ground floor having a minimum floor to floor height of 16 feet to accommodate Non-Residential uses or residential amenity uses designed to

activate the streetscape. In addition, the Applicant shall provide for a hierarchy of activated streetscapes as delineated on Sheet L0.01 of the CDP/FDP and described below.

A. Jones Branch Drive and Street A. These streets are designated as Primary Pedestrian Corridors and designed to accommodate moderate pedestrian activity and encourage interaction among the uses on the Property. These streets shall generally incorporate the following elements, which may be adjusted with approval of an FDPA:

- (i) Where Non-Residential uses are incorporated on the ground floor, a minimum of 50% of the area of the street front ground floor facades shall be constructed with glazed windows and doors or other transparent, translucent materials.
- (ii) Where Residential uses are incorporated on the ground floor, the building design shall incorporate, to the degree feasible, a minimum of 25% of the ground floor façade below the ceiling, constructed with windows and/or doors or other transparent materials or semi-transparent materials, and/or incorporate entries in to individual dwelling units from the street level. Residential units that have direct access to the streetscape from an individual unit shall, to the degree feasible, utilize design features to provide interior privacy (such as having a ground floor elevation that is above the sidewalk grade).
- (iii) Parking structures along the ground floor facades shall have screening composed of architectural systems designed to mitigate views into the parking structure from street level, or the general façade detailing of the building above may be continued to the ground plane.
- (iv) Loading/trash/service areas along Primary Pedestrian Corridors shall be minimized. Where such loading/trash/service areas do occur along Primary Pedestrian Corridors, they shall be screened from public view through the use of roll down doors or similar treatment.

B. Streets B and C. These streets are designated as Secondary Pedestrian Corridors and are designed to accommodate modest pedestrian activity and access to the uses on the Property. Streets B and C shall generally incorporate the following elements, which may be adjusted with approval of an FDPA:

- (i) Residential uses on the ground floor shall incorporate, to the degree feasible, a minimum of 25% of the ground floor façade below the ceiling, constructed with windows and/or doors or other transparent materials or semi-transparent materials, and/or incorporate entries in to individual dwelling units from the street level. Residential units that have direct access to the streetscape from an individual unit shall utilize design features to provide interior privacy (such as having a ground floor elevation that is above the sidewalk grade).

- (ii) Parking structures along the ground floor facades shall have screening composed of architectural systems designed to mitigate views into the parking structure from street level, or the general façade detailing of the building above may be continued to the ground plane.
 - (iii) Loading/trash/service areas shall be screened from public view to the extent feasible through the use of roll down doors, architectural treatments and other such similar treatments or by locating these areas at a distance away from the streetscape area.
14. Parking Structure Facade. The proposed above grade parking structure shall be designed to so include an active layer of occupied space. Parking garage and loading/trash/service entrances may be adjusted with site plan approval, provided such relocation or adjustment does not negatively impact the quality of the streetscape or significantly increase the width of the loading entrance.
15. Building Heights. The minimum and maximum building heights for the proposed building on the Property are identified on the CDP/FDP. The final height may be less than the maximum height shown on the CDP/FDP but not less than the minimum.

Building height shall be measured in accordance with the provisions of the Fairfax County Ordinance and shall be exclusive of those structures that are excluded from the maximum height regulations as set forth in Section 2-506 of the Ordinance, including for example, penthouses and other rooftop structures. Such penthouses and other rooftop structures may be constructed as permitted under Section 2-506 of the Ordinance and shall be a maximum of 20 feet. All building penthouses/rooftop structures shall be screened and integrated into the architecture of the building.

16. Electric Transformers. The Applicant intends to provide electric transformers to serve the Property within the building along Street C as shown in Sheets A-1.0 and A-4.1. In the event this location is not acceptable to electric utility company, the Applicant reserves the right to locate the electric transformers to another area along Streets A, B or C; the location of which shall be determined in concert with DPZ, FCDOT and the Office of Community Revitalization ("OCR") without the requirement for a PCA, CDPA or FDPA.
17. Telecommunications Equipment. Telecommunications equipment may be placed on the proposed building's rooftop. Any such facilities must comply with the applicable requirements of the Ordinance and be screened and/or setback sufficiently from the perimeter of the roof and penthouse such that they are not visible from the surrounding streets at street level. Other screening measures may be used such as including the facilities as part of the architecture of the buildings, utilizing compatible colors, or employing telecommunication screening material and flush mounted antennas.

BUILDING PRACTICES

18. Residential Building Certifications.

- A. The Applicant shall include, as part of the building plan submission for the residential building to be constructed on the Property, a list of specific credits within the most current version of the U.S. Green Building Council's Leadership in Energy and Environmental Design New Construction (LEED®-NC) rating system at the time of the project's registration, or other LEED rating system determined to be applicable by the U.S. Green Building Council (USGBC), or its equivalent (as determined jointly by the Applicant and Fairfax County), that the Applicant anticipate attaining.

Except as otherwise provided below in Paragraph E as an alternative, a LEED or equivalent-accredited professional (the "LEED-AP") who is also a professional engineer or architect shall provide certification statements at the time of building plan review confirming that the items on the list will meet at least the minimum number of credits necessary to attain LEED-NC certification of the building.

- B. The Applicant shall designate the Chief of the Environment and Development Review Branch ("EDRB") of DPZ as a team member in the USGBC's LEED Online system. This team member will have privileges to review the project status and monitor the progress of all documents submitted by the project team, but will not be assigned responsibility for any LEED credits and will not be provided with the authority to modify any documentation or paperwork.
- C. Prior to the building plan approval for the building to be constructed, the Applicant shall post a "green building escrow" in the form of cash or a letter(s) of credit from a financial institution acceptable to DPWES as defined in the Public Facilities Manual (PFM), in the amount of \$2.00/square foot of GFA, as shown on the approved site plan. This green building escrow shall be in addition to and separate from other bond requirements and will be released upon demonstration of attainment of LEED-NC certification, by the USGBC, under the project's registered version of the LEED-NC rating system or other LEED rating system determined, by the USGBC, to be applicable to each building. The provision to EDRB of documentation from the USGBC that each building has attained LEED-NC certification will be sufficient to satisfy this commitment.
- D. At the time LEED-NC certification is demonstrated to the EDRB, the escrowed funds and/or letter(s) of credit shall be released to the Applicant.

If prior to bond extension, reduction or final bond release for the building site, whichever occurs first, the Applicant provides to EDRB documentation demonstrating that LEED-NC certification for the building has not been attained but that the building has been determined by the USGBC to fall within three (3)

points of attainment of LEED-NC certification, 50% of the green building escrow will be released to the Applicant; the other 50% will be released to Fairfax County and will be posted to a fund within the County budget supporting implementation of county environmental initiatives. If the certification is still in progress at the time of application for the bond extension or reduction, the time frame for the provision of the documentation described above shall be automatically extended to the time of the next bond extension or extension. However, the documentation must be provided prior to the final bond release for the building site.

If prior to the bond extension, reduction or final bond release for the building site, whichever occurs first, the Applicant fails to provide documentation to EDRB demonstrating attainment of LEED-NC certification or demonstrating that the building has fallen short of LEED-NC certification by three (3) points or less, the entirety of the escrow for that building will be released to Fairfax County and will be posted to a fund within the County budget supporting implementation of County environmental initiatives. If the certification is still in progress at the time of application for bond extension or reduction, the time frame for the provision of the documentation described above shall be automatically extended to the time of the next bond extension or reduction. However, the documentation must be provided prior to the final bond release for the building site.

- E. As an alternative to the actions outlined in the Paragraphs A, C and D above, the Applicant may choose, at its sole discretion, to pursue a certification higher than LEED-NC, in which case the LEED-AP will provide certification statements at the time of building plan review confirming that the items on the list of specific credits will meet at least the minimum number of credits necessary to attain LEED-NC Silver certification.

Prior to building plan approval for the building to be constructed, the Applicant shall submit documentation, to EDRB, regarding the USGBC's preliminary review of design-oriented credits in the LEED program. This documentation will demonstrate that the building is anticipated to attain a sufficient number of design-related credits that, along with the anticipated construction-related credits, will be sufficient to attain LEED-NC Silver certification. Under this alternative, the Applicant is not required to provide a "green building escrow" unless the Applicant fails to provide the above referenced documentation that the building is anticipated to attain LEED-NC Silver certification.

Prior to final bond release of the building site, the Applicant shall submit documentation to EDRB, confirming the status of LEED certification.

- F. As an alternative to the actions outlined in the Paragraphs A, C, D and E above the Applicant may select, subject to EDRB approval, an alternate residential rating system such as Earth Craft or the 2012 National Green Building Standard (NGBS) using the ENERGY STAR® Qualified Homes path for energy performance that may be implemented without an escrow. If one of the alternate

residential rating systems listed herein is selected, the Applicant shall demonstrate attainment of the selected certification from a rater recognized through the selected program prior to the bond extension, reduction or final bond release for the building site, whichever comes first. If the certification is still in progress at the time of application for bond extension or reduction, the time frame for the provision of the documentation described above shall be automatically extended to the time of the next bond extension or reduction. However, the documentation must be provided prior to the final bond release for the building site.

19. Sustainable Energy Practices. To promote efficient, renewable and sustainable energy practices:
- A. Electric Vehicle Charging Infrastructure. A minimum of two (2) electric vehicle recharging stations that serve four (4) parking spaces and conduit to facilitate additional future recharging stations shall be provided in the parking garage.
 - B. Energy and Water Data. To the extent there are master electric, gas and water meters for entire building, upon request by the County, the Applicant shall provide to the County aggregated non-proprietary energy and water consumption data, as practicable, for the building.

SITE DESIGN AND AMENITIES

20. Landscape Plan. The CDP/FDP includes a landscape plan for the Property consisting of an overall plan and details regarding streetscapes, publicly accessible park areas, courtyards and private amenity areas. Alterations and refinements to the landscaping may be made with approval of a FDPA without the need for a PCA or CDPA. As part of the first and all subsequent site plan submission for the Property, the Applicant shall submit to the Urban Forestry Management Division ("UFMD") of the DPWES for review and approval a detailed landscape plan that is in substantial conformance with the quantity and quality of plantings and materials landscaping shown on the CDP/FDP, and shall include, among other things, irrigation information, design details for tree wells and other similar planting areas on structures and along streets, as well as tree canopy. These details shall include the composition of planting materials, methods for providing suspended pavement over tree root zones to prevent soil compaction, and methods for ensuring the viability of plantings on structures and along streets. Adjustments to the type and location of plantings shall be permitted to avoid conflicts with utilities and other site engineering considerations.

The existing vegetation map on Sheet C-4 and the landscape plan on Sheet L0.00 identify certain individual trees to be preserved as further detailed in Proffer 22. Should trees identified to be preserved along the south side of Street C fail to survive, the Applicant shall develop and implement a landscape plan to be approved by UFMD that will include interim replacement street trees and additional plantings designed to screen views of the adjacent uses.

21. Streetscaping. Streetscaping shall be installed throughout the Property as generally depicted on the CDP/FDP. Streetscape elements shall include: a landscape amenity panel located immediately behind the face of curb; a clear pedestrian sidewalk adjacent to the landscape amenity panel; and a building zone between the pedestrian sidewalk and the face of the building that is designed to allow access to the building and/or additional landscaping adjacent to residential uses and also storefront browsing, outdoor display, outdoor dining, and similar uses adjacent to Non-Residential uses. Streetscaping elements may be adjusted at the time of site plan approval, provided the quality and dimensions of the streetscape are in substantial conformance with that shown on the CDP/FDP.

A. Street Trees. Tree planting sites are depicted on the CDP/FDP but remain subject to revision as may be approved by the UFMD at the time of site plan review. The Applicant shall retain the services of a certified arborist or Registered Consulting Arborist to monitor the design and inspect the planting of the street trees and shall notify UFMD in writing or by electronic mail no later than three business days prior to tree pit construction to allow for County inspection. Where minimum planting widths of eight (8) feet cannot be provided, alternative measures either as identified in the "Tysons Urban Design Guidelines" (endorsed by the Board of Supervisors on January 25, 2012) or as approved by the UFMD, shall be used to satisfy the following specifications for all planting sites:

- (i) A minimum of 4 feet open surface width and 16 square feet open surface area for Category III and Category IV trees, with the tree located in the center of the open area;
- (ii) A minimum rooting area of 8 feet wide (may be achieved with techniques to provide un-compacted soil below pavement), with no barrier to root growth within four feet of the base of the tree on Jones Branch Drive and within 3.5 feet of the base of the tree on Streets A, B and C;
- (iii) A minimum soil depth of four (4) feet as measured to the shallow most point of the tree pit;
- (iv) Soil volume for Category III and Category IV trees (as defined in Table 12.17 of the PFM) shall be 700 cubic feet per tree for single trees, but may be reduced to a minimum of 400 cubic feet where necessary, such as where utility locations preclude greater soil volume. For two trees planted in a contiguous planting area, a total soil volume of at least 600 cubic feet per tree shall be provided. For three or more trees planted in a contiguous area, the soil volume shall equal at least 500 cubic feet per tree. A contiguous area shall be any area that provides root access and soil conditions favorable for root growth throughout the entire area.
- (v) Soil specifications in planting sites shall be provided in the planting notes to be included in all site plan submissions;

- (vi) All shade trees shall be a minimum of 3 to 3.5 inches in caliper at the time of planting; all flowering trees shall be a minimum of 2 inch caliper at the time of planting; and all new evergreen trees shall be a minimum of eight (8) feet in height at the time of planting;
 - (vii) Tree zones shall be installed with a fully automatic irrigation system; and
 - (viii) If some street trees have to be planted within utility easements, the Applicant shall replace any street trees that are removed to facilitate repairs of utilities in these easements.
- B. Non-Invasive Plant Materials. Invasive species, as defined by the Fairfax County PFM, shall not be used on the Property or in any off-site improvement areas associated with the Property, such as off-site publically accessible park space.
- C. Utility Locations. Utilities, including, but not limited to water, sanitary sewer and storm sewer utility lines, shall be installed within the street network to the maximum extent feasible as determined by DPWES or shall be placed in locations that do not conflict with the landscaped open space areas and streetscape elements shown on the CDP/FDP and/or subsequent FDP as determined by DPWES. If there is no other option, utilities may be placed within open space or streetscape areas provided that the long-term health of trees and other plantings is ensured by the provision of sufficient soil volume as outlined in these proffers, as determined by the UFMD. Adjustments to the type and location of plantings shall be permitted to avoid conflicts with utilities and other site engineering considerations.
- Maintenance access points to SWM Facilities and electric vaults beneath the streetscape should be located outside clear pedestrian walkway zone of the streetscape when feasible. If the access points must be located in the walkway zone, they shall be designed as a lift out panel with the same paving materials as the walkway (subject to ADA requirements), be flush with the walkway, and meet ADA accessibility requirements.
- D. Sight Distance Considerations. If determined at the time of site plan approval that street tree locations conflict with sight distance requirements, the Applicant shall investigate whether limited pruning or minor adjustments to the locations of street trees will alleviate sight distance concerns. In the event VDOT does not approve the tree locations even after the changes anticipated above the Applicant shall be permitted to relocate the affected street tree without the need for confirmation from DPZ, subject to approval by the UFMD. If a tree that is deleted due to VDOT requirements would result in a tree canopy below 10% on the Property, the tree(s) shall be accommodated in another location on the Property, as approved by DPZ in consultation with UFMD so as to ensure the 10% tree canopy is met.
- E. Streetscape Furnishings and Materials and Lighting. Unified and high quality streetscape materials and site furnishings to be used on the Property are shown on

Sheet L3.01 of the CDP/FDP. Any modifications to these materials and furnishings shall be compatible with those identified in the Tysons Urban Design Guidelines, dated January 14, 2012, as may be amended and or modified.

All streetscape lighting shall be energy efficient. All on-site, outdoor and parking garage lighting shall not exceed that permitted under the Outdoor Lighting Standards of Section 14-900 of the Ordinance. The same or similar street lights shall be used consistently throughout the Property. All parking lot and new building mounted security lighting shall utilize full cut-off fixtures. Recessed lighting shall be directionally shielded to mitigate the impact on the adjacent properties.

- F. Signage. Signage for the Property shall be provided in accordance with the requirements of Article 12 of the Ordinance or as may be approved with a Comprehensive Sign Plan ("CSP") for the Property.

The placement of traffic control signage on public streets shall be coordinated with VDOT. Wayfinding signage and elements may be provided as part of a CSP for the Property or as part of a larger CSP for the Tysons area.

- G. Maintenance. The Applicant shall maintain and replace in-kind all pedestrian realm elements within the Property. The pedestrian realm includes all areas between the back of curb and the building zone whether located within the public right-of-way or on private land with public access easements. The Applicant shall enter into the appropriate agreement, in a form approved by the Office of the County Attorney, with the County (or other public entity, as needed) to permit the Applicant to perform such maintenance. An alternative maintenance agreement, such as a Business Improvement District, may be entered into upon written agreement of both the County and the Applicant without the requirement for a PCA. Maintenance commitments include, but are not limited to:

- (i) All plantings including trees, shrubs, perennials, and annuals;
- (ii) All associated irrigation elements;
- (iii) All hard surfaces;
- (iv) All streetscape furnishings including trash and recycling receptacles, benches, bike racks and non-standard structures;
- (v) All lighting fixtures, brackets and poles;
- (vi) All non-VDOT standard sign posts, traffic signal poles, pedestrian signal poles, mast arms, signal heads and control boxes;
- (vii) Snow removal;
- (viii) Leaf removal;

- (ix) Trash, recycling and litter removal;
- (x) Decorative retaining walls;
- (xi) Special drainage features, such a Low Impact Design facilities; and
- (xii) All urban park amenities including horticultural care, maintenance of all water features, irrigation, lighting, furnishings, paving, and art.

22. Tree Preservation.

- A. Tree Preservation Plan. The Applicant shall submit a tree preservation plan and narrative as part of the first and all subsequent site plan submissions. The tree preservation plan and narrative shall be prepared by a certified arborist or registered consulting arborist (the "Project Arborist"), and shall be subject to the review and approval of UFMD. The tree preservation plan shall provide for the preservation of those individual trees identified for preservation on Sheet C-4 of the CDP/FDP. It shall include an inventory which identifies the location, species, size, crown spread and condition rating percent of all individual trees to be preserved. The condition analysis shall be prepared using methods outlined in the latest edition of the *Guide for Plant Appraisal*. Specific tree preservation activities designed to maximize the survivability of trees designated for preservation shall be incorporated into the Tree Preservation Plan. Activities should include, but are not limited to, crown pruning, root pruning, mulching and fertilization.
- B. Tree Preservation Walk-Through. The Applicant shall have the limits of clearing and grading marked with a continuous line of flagging prior to the walk-through meeting. During the tree preservation walk-through meeting, the Project Arborist shall walk the limits of clearing and grading with a UFMD representative to determine where adjustments to the clearing limits may be made to increase the survivability of the individual trees to be saved and how such adjustments shall be implemented. Trees that are identified as dead or dying may be removed as part of the clearing operation. Any tree that is so designated shall be removed in a manner that avoids damage to surrounding trees and associated understory vegetation. If a stump is to be removed, this shall be done using a stump-grinding machine in a manner causing as little disturbance as possible to nearby trees identified for preservation.
- C. Limits of Clearing and Grading. The Applicant shall conform strictly to the limits of clearing and grading as shown on the CDP/FDP, subject to allowances specified in these proffered conditions and for the installation of utilities and/or sidewalks. If it is determined necessary to install utilities and/or sidewalks in areas protected by the limits of clearing and grading as shown on the CDP/FDP, they shall be located in the least disruptive manner necessary as determined by the UFMD. A replanting plan shall be developed and implemented, subject to

approval by the UFMD, DPWES, for any areas protected by the limits of clearing and grading that must be disturbed for such trails or utilities.

- D. Tree Preservation Fencing. All trees shown to be preserved on the tree preservation plan shall be protected by tree protection fencing. Tree protection fencing in the form of four (4) foot high, fourteen (14) gauge welded wire attached to six (6) foot steel posts driven eighteen (18) inches into the ground and placed no further than ten (10) feet apart or, super silt fence to the extent that required trenching for super silt fence does not sever or wound compression roots which can lead to structural failure and/or uprooting of trees shall be erected at the limits of clearing and grading as shown on the Tree Preservation Plan, demolition plan, and Phase I and Phase II erosion and sediment control sheets, as may be modified by Paragraph E below.

All tree protection fencing shall be installed after the tree preservation walk-through meeting but prior to any clearing and grading activities, including the demolition of any existing structures. The installation of all tree protection fencing shall be performed under the supervision of the Project Arborist, and accomplished in a manner that does not harm existing vegetation that is to be preserved. Three (3) days prior to the commencement of any clearing, grading or demolition activities, but subsequent to the installation of the tree protection devices, the UFMD, shall be notified and given the opportunity to inspect the site to ensure that all tree protection devices have been correctly installed. If it is determined that the fencing has not been installed correctly, no grading or construction activities shall occur until the fencing is installed correctly, as determined by the UFMD.

- E. Root Pruning. The Applicant shall root prune, as needed to comply with the tree preservation requirements of these Proffers. All treatments shall be clearly identified, labeled, and detailed on the erosion and sediment control sheets of the site plan submission. The details for these treatments shall be reviewed and approved by the UFMD, accomplished in a manner that protects affected and adjacent vegetation to be preserved, and may include, but not be limited to the following:

- (i) Root pruning shall be done with a trencher or vibratory plow to a depth of 18 inches.
- (ii) Root pruning shall take place prior to any clearing and grading, or demolition of structures.
- (iii) Root pruning shall be conducted with the supervision of the Project Arborist.
- (iv) An UFMD representative shall be informed when all root pruning and tree protection fence installation is complete.

- F. Demolition of Existing Structures. The demolition of all existing features and structures within protected areas shown on the CDP/FDP shall be done by hand without heavy equipment and conducted in a manner that does not impact individual trees that are to be preserved.
- G. Site Monitoring. During any clearing or tree/vegetation/structure removal on the Property, a representative of the Applicant shall be present to monitor the process and ensure that the activities are conducted as proffered and as approved by the UFMD. The Project Arborist shall monitor all construction and demolition work and tree preservation efforts in order to ensure conformance with all tree preservation proffers, and UFMD approvals. The monitoring schedule shall be described and detailed in the tree preservation plan.
- H. Tree Appraisal and Bonding. The Project Arborist shall determine the replacement value of the existing 30 inch Red Oak tree identified for presentation in the northwest corner of the Property (the "Red Oak Tree"). The Red Oak Tree and its value shall be identified on the Tree Preservation Plan at the time of first submission of the site plan. The replacement value shall take into consideration the age, size and condition of the Red Oak Tree and shall be determined by the "Trunk Formula Method" contained in the latest edition of the Guide for Plan Appraisal published by the International Society of Arboriculture, subject to review and approval by UFMD.

At the time of the site plan approval, the Applicant shall post a cash bond or a letter of credit payable to the County of Fairfax to ensure preservation and/or replacement of the Red Oak Tree (for which a tree value has been determined in accordance with the paragraph above) should it die or be dying due to unauthorized construction activities. The letter of credit or cash deposit shall be equal to 50% of the replacement value of the Red Oak Tree. At any time prior to final bond release for the improvements on the Property, should the Red Oak Tree die, be removed, or be determined to be dying by UFMD due to unauthorized construction activities, the Applicant shall replace the Red Oak Tree at its expense with a tree in the same location to be a focal point, along with other trees that together will have an equivalent canopy cover to the Red Oak Tree, as approved by UFMD. In addition to this replacement obligation, the Applicant shall also make a payment equal to the value of the Red Oak Tree. This payment shall be determined based on the Trunk Formula Method and paid to a fund established by the County for furtherance of tree preservation objectives. Upon release of the bond for the improvements on the Property, any amount remaining in the tree bond required by this proffer shall be returned/released to the Applicant.

- I. The Applicant reserves the right to try to preserve other trees on the Property, not shown for preservation on Sheet C-4.

- 23. Interim Conditions and Standards. Due to the nature of the proposed development and the existing conditions of adjacent properties, development may result in various interim conditions on the Property or on adjacent properties where improvements are proffered.

The Applicant shall ensure such conditions provide reasonable pedestrian connections, vehicular circulation, temporary streetscaping and landscaping, and public park treatments as follows, or as may be adjusted with FDPA approval:

- A. Construction of an interim sidewalk a minimum of a five (5) feet in width and installation of interim street lights along the north side of Street C between the Property and Westbranch Drive.
- B. Installation of street trees, with a minimum size of 2 inch caliper, approximately every 50 feet, along the north side of Street A. Interim street tree planting shall not be required to meet the minimum planting width/area standard for permanent street trees.
- C. Grading and seeding of areas on the Property where existing improvements are removed to accommodate a portion of the proposed development, and are not scheduled to commence construction within 18 months.

TRANSPORTATION IMPROVEMENTS

24. Grid of Streets. The Applicant shall construct and place into operation a grid of streets throughout the Property as generally located and depicted on Sheets C-5 and C-9 of the CDP/FDP. The functional classification of the streets on and adjacent to the Property is provided below:

Street	Classification
Jones Branch Drive	Collector
Street A	Local
Street B	Local
Street C	Local

- A. Public Streets. Those streets constructed within the limits of the Property and identified on the CDP/FDP as Street A, Street B and Street C shall be designed and constructed as public streets. Public street improvements proposed herein shall be subject to VDOT approval and be in general conformance with the *Transportation Design Standards for Tysons Corner Urban Center* (the "Design Standards") of the Memorandum of Agreement approved by the Board of Supervisors on September 13, 2011, as may be amended (the "MOA"), subject to modifications/waivers as may be granted. The Applicant shall design and construct these streets to meet the Design Standards and shall work diligently with VDOT and the County during the site plan approval processes to ensure that the improvements proposed to existing and new public streets will be accepted into the VDOT system for maintenance. Right-of-way necessary for the existing and new public streets, as may be further qualified by these Proffers, shall be dedicated and conveyed to the Board of Supervisors in fee simple, as applicable, at the time of site plan approval. It is understood that for an interim period of time, the section of Street C between Street B and Westbranch Drive will be a private street, not maintained by VDOT. It is envisioned that with future

redevelopment in the vicinity of the Property, this section of Street C will become a public street. A public access easement in a form acceptable to the County Attorney shall be recorded over the private section of Street C.

The Applicant shall diligently pursue VDOT acceptance of improvements to existing streets and new public streets, for secondary street maintenance in accordance with the process outlined in VDOT's Secondary Street Acceptance Requirements (the "SSAR"), as amended, including VDOT's written certification that such streets and/or improvements have been constructed in a manner consistent with the VDOT approved plans and compliant with all applicable regulations ("VDOT's Written Certification"). In the event the Board of Supervisors has not requested that VDOT accept the dedicated new public streets or improvements into the secondary street network for maintenance within five (5) years of VDOT's Written Certification, such street(s) may be retained by the Applicant upon notification to, and the concurrence of FCDOT, as a private street subject to a public access and maintenance agreement in a form acceptable to the County Attorney. In such event, a PCA, CDP/FDPA and/or FDPA will not be required.

B. Rights-of-Way. The Applicant shall dedicate and convey in fee simple to the Board of Supervisors rights-of-way for each of the public streets listed in Paragraph A above. Dedication shall include the area of the adjacent landscape amenity panel and sidewalk and shall occur at the time of site plan approval, with the following exceptions:

- (i) If at the time of site plan approval it is determined that stormwater management facilities, electric vaults or other similar facilities proposed to be located beneath the landscape amenity panel/sidewalk will prevent VDOT and/or Fairfax County from accepting the landscape amenity panel/sidewalk within the proposed right-of-way, the Applicant shall provide dedication and/or vacation of existing fee simple right-of-way measuring 18 inches from the proposed face of curb line and shall reserve for potential future dedication the landscape amenity panel and sidewalk areas. A temporary public access shall be recorded over the reserved landscape amenity panel/sidewalk areas until such time as they are dedicated. This reservation area shall include easements for the installation of signage necessary for safety and operation of the street as well as parking regulation equipment by VDOT and/or the County. In addition, the Applicant shall provide easements within the amenity panel/sidewalk area for bus shelters as determined at the time of FDP or site plan. Conveyance of the amenity panel/sidewalk areas to the Board of Supervisors shall occur following construction of the street and streetscape improvements and final street acceptance inspection by Fairfax County and/or VDOT subject to the stipulations in these Proffers.

Should it be determined following final street acceptance inspection that the landscape amenity panel and sidewalk areas continue to be

unacceptable to VDOT and/or Fairfax County for inclusion in the right-of-way, the reservation of potential future dedication of the landscape amenity panel and sidewalk areas shall be released and the Applicant shall grant a public sidewalk and utility easement, in a form acceptable to the Office of the County Attorney. This easement shall allow for the installation of signage necessary for safety and operation of the street as well as parking regulation equipment by VDOT and/or the County. In addition, the Applicant shall provide easements for bus shelters as determined at the time of site plan.

- (ii) If at the time of site plan approval it is unclear whether stormwater management facilities, electric vaults or other similar facilities proposed to be located beneath the landscape amenity panel/sidewalk will be acceptable to VDOT, Dominion Power and/or Fairfax County, the Applicant shall provide dedication measuring 18 inches from the proposed face of curb line at the time of site plan approval and shall reserve for potential future dedication the landscape amenity panel and sidewalk areas. A temporary public access easement in a form acceptable to the County Attorney shall be recorded over the reserved landscape amenity panel/sidewalk areas until such time as such areas are dedicated. The reservation area shall include easements that allow for the installation of signage necessary for safety and operation of the street as well as parking regulation equipment by VDOT and/or the County. In addition, the Applicant shall provide easements for bus shelters as determined at the time of site plan. Conveyance of the amenity panel/sidewalk areas to the Board of Supervisors shall occur following construction of the street and streetscape improvements and final street acceptance inspection by Fairfax County and/or VDOT subject to the stipulations in these Proffers.
- (iii) Should it be determined following final street acceptance inspection that the landscape amenity panel and sidewalk areas are not acceptable to VDOT and/or the County to be included in the right-of-way, the reservation of potential future dedication of the landscape amenity panel and sidewalk areas shall be released and a public sidewalk and utility easement, in a form acceptable to the County Attorney, shall be granted in its place. This easement shall allow for the installation of signage necessary for safety and operation of the street as well as parking regulation equipment by VDOT and/or the County. In addition, the Applicant shall provide easements within any privately-owned amenity panel/sidewalk area for bus shelters identified on the CDP/FDP or any subsequent FDPA, as determined at the time of site plan.

- C. Naming. The Applicant reserves the right to provide different names for the streets than those shown on the CDP/FDP.

- D. Meaning of Construct. For purposes of these transportation proffers, “construct” shall mean that a committed road improvement is substantially complete and is available for use by the public for travel whether or not the improvement has been accepted for maintenance by the state.

25. Jones Branch Drive.

- A. The Applicant shall design and construct improvements to Jones Branch Drive along the Property’s frontage as generally depicted on Sheet C-5 of the CDP/FDP. Jones Branch Drive shall be improved and restriped in general accordance with the typical section depicted on Sheet C-9, as an undivided four-lane Collector, with two travel lanes in each direction, a parking lane along the Property’s frontage and one bicycle lane in each direction, and variable pavement provided to accommodate pavement transitions as may be required by VDOT.
- B. Improvements to Jones Branch Drive along the Property’s frontages shall include a pavement section designed to accommodate bicycle lanes on both sides of the street. To the extent feasible, striping of a bicycle lane on the east side of Jones Branch Drive shall be extended from the Property to Westpark Drive as shown on Sheet C-5. Striping of bicycle lanes shall be subject to the approval of the County and VDOT.
- C. The final design of the improvements to Jones Branch Drive as generally described above shall be further refined in conjunction with the submission of the site plan for the Property. Improvements to Jones Branch Drive shall be constructed prior to the issuance of the first RUP for the Property.

26. Streets A and B.

- A. The Applicant shall design and construct Street A and Street B through the Property as generally depicted on Sheet C-5 of the CDP/FDP. They shall be constructed in general accordance with the typical section depicted on Sheet C-9 as a Local Street consisting of two (2) travel lanes (one in each direction) and two parking lanes.

The final design of Streets A and B as generally described above shall be further refined in conjunction with the submission of the site plan for the proposed building on the Property. Street A and Street B shall be constructed prior to the issuance of the first RUP for the Property.

27. Street C.

- A. The Applicant shall design and construct Street C through the Property and across adjacent properties, identified on the 2014 Fairfax County tax maps as 29-4 ((7)) 8 and 11A, connecting Jones Branch Drive and Westbranch Drive as generally depicted on Sheet C-5 of the CDP/FDP. It shall be constructed as an interim section of a Local Street consisting of two (2) travel lanes (one in each direction),

parking lanes provided in select locations, and a six (6) foot wide interim sidewalk on the south side as shown on Sheets C-5 and C-9. It is anticipated that future redevelopment by others on adjacent properties will improve Street C to its ultimate condition with parking lanes on both sides of the street, as shown on Sheet C-8A. The section of Street C between Street B and Westbranch Drive will initially be provided as a private street; a public access easement in a form acceptable to the County Attorney shall be recorded over this private section of Street C prior to site plan approval.

B. The final design of the improvements to Street C as generally described above shall be further refined in conjunction with the submission of the site plan for the Property. Street C shall be constructed prior to the issuance of the first RUP for the Property.

28. Public Street Standards. All public street improvements proposed herein shall be subject to VDOT approval, and shall be in general conformance with standards included in Attachment D (*Transportation Design Standards for Tysons Corner Urban Center*) of the Memorandum of Agreement approved by the Board of Supervisors on September 13, 2011, as may be amended, subject to any permitted modifications and/or waivers that may be granted. p

29. Tysons Grid of Streets Transportation Fund. The Applicant shall make a contribution to the County's Tysons Grid of Streets Transportation Fund for each market rate residential unit and each square foot of new non-residential space constructed on the Property in keeping with the rates and applicable rate adjustments set forth in the *Guidelines for the Tysons Grid of Streets Transportation Fund* endorsed by the Board of Supervisors on January 8, 2013 (the "Grid Guidelines"). This contribution is not subject to further adjustment outlined in Proffer 53 and shall not apply to any public-use facilities constructed on the Property. The contribution shall be paid on or before the issuance of the initial RUP or Non-RUP for the building based on the actual GFA of non-residential space and/or the actual number of market rate residential units in the building.

The Applicant shall receive and deduct credits against the contributions as approved by the County in conformance with the Grid Guidelines. Pursuant to the Grid Guidelines, the Applicant shall receive credit for the hard and soft costs associated with the construction of the segment of Street C from the Property's western boundary to Westbranch Drive.

30. Tysons-wide Transportation Fund. The Applicant shall make a contribution to the County's Tysons-wide Transportation Fund for each market rate residential unit and each square foot of new non-residential space constructed on the Property in keeping with the rates and applicable rate adjustments set forth in the *Guidelines for the Tysons-wide Transportation Fund* endorsed by the Board of Supervisors on January 8, 2013 (the "Tysons-wide Guidelines"). This contribution is not subject to further adjustment outlined in Proffer 53 and shall not apply to any public-use facilities constructed on the Property. The contribution shall be paid on or before the issuance of the initial RUP or Non-RUP for the building based on the actual GFA of non-residential space and/or the actual number of market rate residential units in the building.

The Applicant shall receive and deduct credits against the contributions as approved by the County in keeping with the Tysons-wide Guidelines.

31. Inter-Parcel Access. At the time of site plan approval for the Property, the Applicant shall record an inter-parcel access easement, in a form acceptable to the County Attorney, to permit a future connection from property identified on the 2014 Fairfax County tax maps as 29-4 ((7)) 4 to Street C as shown on Sheet C-5 of the CDPA/FDPA, or as may be alternatively determined at the time of site plan approval. In order to facilitate the construction of the inter-parcel access connection by others, the Applicant shall provide construction easements at no cost to the constructing party upon 30 days written demand by the County.

BICYCLE, BUS AND PEDESTRIAN FACILITIES

32. Bicycle Circulation. In combination with the street and streetscape improvements identified in these Proffers, the Applicant shall stripe on-street bicycle lanes on both sides of Jones Branch Drive along and across from the Property's frontage. To the extent feasible, striping of a bicycle lane on the east side of Jones Branch Drive shall be extended from the Property to Westpark Drive as shown on Sheet C-5. Striping of bicycle lanes shall be subject to the approval of the County and VDOT.
33. Bicycle Parking. Bicycle racks, bike lockers, and/or bike storage areas shall be provided with the specific amounts and locations determined at the time of site plan approval in consultation with the FCDOT Bicycle Coordinator. Bicycle racks located outside of building and parking garage shall be inverted U-style racks or other design consistent with the Tysons Urban Design Guidelines and approved by FCDOT. The total number of bike parking/storage spaces provided shall be generally consistent with the Fairfax County Policy and Guidelines for Bicycle Parking. The applicant shall also provide wayfinding signage to assist bicyclists in locating bike parking; such signage to be approved by FCDOT.
34. Marked Crosswalks. The Applicant shall install marked pedestrian crosswalks at all locations shown on Sheet C-5 of the CDP/FDP, subject to VDOT approval. The crosswalk aligning with the linear pedestrian pathway described in Proffer 43A (iii) is an interim location for a crosswalk. At the time of site plan approval for the Property, the Applicant shall escrow with DPWES the cost of relocating the crosswalk east to the intersection of Street B and Street C.
35. Bus Shelter. The Applicant shall relocate the existing bus shelter located along its Jones Branch Drive frontage on to adjacent property north of the Property as shown on Sheet C-6 of the CDP/FDP, as may be adjusted at final site plan as approved by FCDOT. The bus shelter shall be relocated and available for public use prior to the construction of the new streetscape along the Property's Jones Branch Drive frontage.

PARKING

36. Zoning Ordinance Requirements. Parking on the Property shall be provided in accordance with the parking requirements for the PTC District set forth in Section 6-509 and Article 11 of the Fairfax County Ordinance, and as shown on the CDP/FDP. Tandem and valet parking, shall be permitted and, subject to Board approval, shall count toward parking requirements. Tandem parking spaces may be used for residential units with two cars. The exact number of spaces to be provided shall be determined at the time of site plan approval based on the specific uses, number of residential units and bedroom mix.
37. Parking Stipulations.
- A. Subject to VDOT approval, the Applicant shall provide surface parking spaces along the streets as generally as shown on the CDP/FDP and as may be adjusted with site plan approval. The spaces may be part of or in addition to the total number of required parking spaces to be provided. If requested by the County and/or VDOT, signs shall be installed that restrict the use of on-street parking spaces on the Public Streets.
 - B. The Applicant reserves the right to restrict the use of spaces along any interim private streets (whether temporary or permanent), through appropriate signage or such other means as the Applicant determines, that otherwise are not required to satisfy the parking requirements for use as temporary, leasing, short term parking, zip car parking and/or similar use.
 - C. The Applicant shall be permitted to install and maintain parking controls on the existing surface parking lot on the Property, without the requirement for a FDP, in order to control Metro-related parking by the general public.
 - D. The sale or lease rates of parking spaces shall be "unbundled" from the purchase price or lease rate of the individual dwelling units; meaning a unit's purchase price or lease rate shall be exclusive of parking costs.
38. Future Parking Revisions.
- A. Ordinance Revisions. The Applicant reserve the right to provide parking at revised rates as may be permitted by a future amendment to the Fairfax County Ordinance. Optional use of revised rates shall not require a CDP/FDPA or PCA, provided there is no increase in the size or height of above-grade parking structures.
 - B. Increases. The Applicant reserve the right to seek a special exception for an increase in parking for the Property; such special exception application shall not require a CDP/FDPA or PCA, provided there is no increase in the size or height of above-grade parking structures.

TRANSPORTATION DEMAND MANAGEMENT

39. Tysons Transportation Management Association. The Applicant shall contribute towards the establishment of a transportation management association (the "TMA"), which has been established for the Tysons Corner Urban Center and to which all other Tysons property owners will also contribute.

- A. The Applicant shall make a one-time contribution for the establishment of this TMA based on a participation rate of \$0.05 per gross square foot of new residential uses to be constructed on the Property.
- B. The TMA contribution shall be paid prior to site plan approval for the proposed building on the Property, but in any event no later than ten (10) years from the date of rezoning approval.
- C. The Applicant may, in its sole discretion, join or otherwise become associated with the TMA established for the purpose of administering TDM programs in the Tysons Corner Urban Center and transfer some or all administrative, marketing and/or monitoring and similar functions of the Applicant's TDM program described in Proffer 40 to the TMA, whereupon portions of Proffer 40 related to administration, marketing and monitoring shall be void and of no further force or effect. Further, if determined by FCDOT that a proactive, private TDM program is no longer necessary, the TDM structures described in Proffer 40 may be rendered null and void in whole or in part without the need for a PCA.

40. Transportation Demand Management Plan.

- A. The Applicant intends to join the Arbor Row TDM Administrative Group, a TDM Administrative Group active in the vicinity of the Property. The design, implementation and administration of a transportation demand management program for the Property will be in keeping with the proffered elements of the Arbor Row TDM Program as described in the Arbor Row Transportation Demand Management Plan prepared by M.J. Wells + Associates, Inc. dated February 22, 2012, as revised through August 31, 2012, and as may be amended (the "TDM Plan"), with the following modifications:

The target trip reductions objectives for the Property shall be as follows:

<u>Development Levels</u>	<u>Percentage Vehicle Trip Reduction</u>
Up to 65 million sq. ft. of GFA	30%
65 million sq. ft. of GFA	35%
84 million sq. ft. of GFA	40%
90 million sq. ft. of GFA	43%
96 million sq. ft. of GFA	45%
105 million sq. ft. of GFA	48%
113 million sq. ft. of GFA	50%

The Applicant shall notify FCDOT in writing of its joining of the Arbor Row TDM Administrative Group within 30 days of acceptance by the Arbor Row Administrative Group or prior to site plan approval for the new building to be constructed on the Property whichever first occurs.

- B. TDM Alternative Program. The Applicant reserves the right to design, implement and administer its own TDM Program as outlined below. Should the Applicant choose to develop and implement a TDM Program separate from Arbor Row, notification of the same shall be provided in writing to FCDOT prior to site plan approval for the new building to be constructed on the Property. Such separate program shall be approved by FCDOT prior to the issuance of the first building permit for the new building to be constructed on the Property. In such event, the Applicant shall not be required to secure approval of a PCA, CDPA or FDPA.

- (i) Proffered Elements. The proffered elements of the TDM Program as set forth below are more fully described in the 7915 Jones Branch Drive Transportation Demand Management Plan prepared by Wells + Associates, Inc. dated August 21, 2014 (the "TDM Plan"). It is the intent of this Proffer that the TDM Plan will adapt over time to respond to the changing transportation related circumstances of the Property, the surrounding community and the region, as well as to technological and/or other improvements, all with the objective of meeting the trip reduction goals as set forth in these Proffers. Accordingly, modifications, revisions, and supplements to the TDM Plan as coordinated with FCDOT can be made without the need for a PCA provided that the TDM Plan continues to reflect the proffered elements of the TDM Program as set forth below.
- (ii) Definitions. For purposes of this Proffer, "Build Out" shall be deemed to occur upon the issuance of 95% of all Residential Use Permits ("RUPs") for the residential units site plan approved and constructed on the Property.
- (iii) Trip Reduction Objective. The objective of this TDM Program shall be to reduce the vehicle trips generated by residents of the Property during weekday peak hours associated with the adjacent streets as more fully described in the TDM Plan, by meeting the percentage vehicle trip reductions established by the Comprehensive Plan as set forth below. These trip reduction percentages shall be multiplied by the total number of residential vehicle trips that would be expected to be generated by the uses developed on the Property as determined by the application of the Institute of Traffic Engineers, 9th Edition, Trip Generation rates and/or equations (the "ITE Trip Generation"), and the number of trips determined by the product of such equation shall be referred to herein as the "Maximum Trips After Reduction."

- (iv) Reduction Targets. For purposes of this calculation, the maximum number of dwelling units proposed to be constructed on the Property as determined at the time of site plan approval for the proposed building shall be applied to the calculation described in the preceding sentence. The target reductions shall be as follows:

<u>Development Levels</u>	<u>Percentage Vehicle Trip Reduction</u>
Up to 65 million sq. ft. of GFA	30%
65 million sq. ft. of GFA	35%
84 million sq. ft. of GFA	40%
90 million sq. ft. of GFA	43%
96 million sq. ft. of GFA	45%
105 million sq. ft. of GFA	48%
113 million sq. ft. of GFA	50%

- (v) Summary of Existing Development. The trip reduction goals outlined above are predicated on the achievement of specific development levels within the Tysons Corner Urban Center as anticipated in the Comprehensive Plan. Prior to undertaking trip measurements, the TDM Program Manager (described in Paragraph E below) shall, in consultation with the County, provide a summary of the then existing development levels in Tysons Corner (based on RUPs and Non-RUPS issued) in order to determine the appropriate vehicle trip reduction goal.
- (vi) Subsequent Goal Reductions. If through an amendment to the Comprehensive Plan, the Board of Supervisors should subsequently adopt a goal for trip reductions that is lower than that committed to in this Proffer, then the provisions of this Proffer shall be adjusted accordingly without requiring a PCA.
- (vii) TDM Program Components. The TDM Program shall include, but not necessarily be limited to, the following components, each of which is more fully described in the TDM Plan:
- TDM Program Management.
 - TDM Program Branding.
 - Program Web Site.
 - Promotion of Real Time Transit Information.
 - Transportation Access Guide.
 - Pedestrian/Bicycle Accommodations.

- g. Transportation Fair
- h. Live/work/play marketing
- i. Carsharing Placement and Services
- j. Parking Management.
- k. Business Center
- l. Try Transit Campaign

(viii) Transportation Demand Management for Non-Residential Uses. Certain components of the TDM Plan will benefit the potential Non-Residential uses on the Property. The TPM shall make available information on those components to any Non-Residential uses on the Property. Such uses shall not be subject to monitoring nor will remedies and penalties be assessed against those uses.

(ix) Process of Implementation. The TDM Program shall be implemented as follows, provided that modifications, revisions, and supplements to the implementation process as set forth herein as coordinated with FCDOT can be made without requiring a PCA.

a. TDM Program Manager. The Applicant shall appoint and continuously employ, or cause to be employed, a TDM Program Manager (TPM) for the Property. The TPM shall be appointed by the Applicant no later than sixty (60) days after the issuance of the first building permit for the first new building to be constructed on the Property. The TPM duties may be part of other duties associated with the appointee. The Applicant shall notify FCDOT and the District Supervisor in writing within 10 days of the initial appointment of the TPM. Thereafter the Applicant shall do the same within ten (10) days of any change in such appointment.

b. Annual Report and Budget. The TPM shall prepare and submit to FCDOT an initial TDM Work Plan ("TDMWP") and Annual Budget no later than 180 days after issuance of the first building permit for the new building on the Property. Every calendar year thereafter but no later than August 1st, the TPM shall submit an Annual Report, which may revise the Annual Budget in order to incorporate any new construction on the Property. The Annual Report shall include, at a minimum:

- 1) Details as to the components of the TDM program that will be put into ~~action that year~~;

- 2) Any revisions to the budget needed to implement the program for the coming calendar year;
- 3) A summary of existing development levels in the Tysons Corner Urban Center, as well as those specific to the Tysons North Central District;
- 4) A determination of the applicable Maximum Trips After Reduction for the Property;
- 5) Provision of the specific details associated with the monitoring and reporting requirements of the TDM program in accordance with the TDM plan; and
- 6) Submission of the results of any Person Surveys and Vehicular Traffic Counts conducted on the Property in conjunction with each year's Annual Report.

The Annual Report and Budget shall be reviewed by FCDOT. If FCDOT has not responded with any comments within sixty (60) days after submission, then the Annual Report and Budget shall be deemed approved and the program elements shall be implemented. If FCDOT responds with comments on the Annual Report and Budget, then the TPM will meet with FCDOT staff within fifteen (15) days of receipt of the County's comments. Thereafter, but in any event, no later than thirty (30) days after the meeting, the TPM shall submit such revisions to the program and/or budget as discussed and agreed to with FCDOT and begin implementation of the approved program and fund the approved TDM Budget. Thereafter, the TPM shall update the Annual Report and TDM Budget for each succeeding calendar year, modify or enhance program elements and establish a budget to cover the costs of implementation of the program for such year. The expected annual amounts of the TDM Budget are further described in the TDM Plan.

- c. TDM Account. The Applicant through the TPM, shall establish a separate interest bearing account with a bank or other financial institution qualified to do business in Virginia (the "TDM Account") within 30 days after approval of the initial TDMWP and TDM Budget. All interest earned on the principal shall remain in the TDM Account and shall be used by the TPM for TDM purposes. The TDM Account shall be funded by the Applicant, through the TPM. The TDM Account shall not be eliminated as a line item in the governing budget and that funds in the TDM Account shall not be utilized for purposes other than to fund TDM

strategies/programs and/or specific infrastructure needs as may be approved in consultation with FCDOT.

Funding of the TDM Account shall be in accordance with the budget for the TDM Program elements to be implemented in the following year. In no event shall the TDM Budget exceed \$70,100 (this amount shall be adjusted annually in accordance with Proffer 53). The TPM shall provide written documentation to FCDOT demonstrating the establishment of the TDM Account within ten (10) days of its establishment. The TDM Account shall be replenished annually thereafter following the establishment of each year's TDM Budget. The TDM Account shall be managed by the TPM.

- d. TDM Remedy Fund. At the same time the TPM creates and funds the TDM Account, the TPM shall establish a separate interest bearing account (referred to as the "TDM Remedy Fund") with a bank or other financial institution qualified to do business in Virginia. Funding of the TDM Remedy Fund shall be made one time on a building by building basis at the rate of \$0.30 per gross square foot of new residential uses on the Property. Funding shall be provided by the Applicant prior to the issuance of the first initial RUP for the new building. This amount shall be adjusted annually in accordance with Proffer 53. Funds from the TDM Remedy Fund shall be drawn upon only for purposes of immediate need for TDM funding and may be drawn on prior to any TDM Budget adjustments as may be required.
- e. TDM Incentive Fund. The "TDM Incentive Fund" is an account into which the Applicant, through the TPM, shall deposit contributions to fund a multimodal incentive program for initial purchasers/lessees within the Property. Such contributions shall be at the rate of \$0.02 per gross square foot of new residential uses to be constructed on the Property and provided prior to the issuance of the first RUP for the proposed building.
- f. TDM Penalty Fund. The "TDM Penalty Fund" is an account into which the TPM shall deposit penalty payments as may be required to be paid pursuant to this Proffer for non-attainment of trip reduction goals. The County may withdraw funds from the TDM Penalty Fund for the implementation of additional TDM Program elements/incentives and/or congestion management associated with the Tysons North Central District, or for other TDM-related improvements or programs within Tysons Corner. To secure the Applicant's obligations to make payments into the TDM Penalty Fund, the TPM shall provide the County with a letter of credit or a

cash escrow as further described below. Prior to the issuance of the first RUP or for the new building on the Property, the TPM shall:

- 1) Establish the TDM Penalty Fund, if not previously established by the TPM, and/or
- 2) Deliver to the County a clean, irrevocable letter of credit issued by a banking institution approved by the County or escrow cash in an interest-bearing account with an escrow agent acceptable to DPWES to secure the Applicant's obligations to make payments into the TDM Penalty Fund (the "Letter of Credit or Cash Escrow"). The Letter of Credit or Cash Escrow shall be issued in an amount equal to \$0.05 for each square foot of new residential GFA shown on the approved site plan for the Property. Until the Letter of Credit or Cash Escrow has been posted, the figures in the preceding sentence shall be adjusted annually in accordance with Proffer 53. Once the Letter of Credit or Cash Escrow has been posted, there shall be no further adjustments or increases in the amount thereof. The Letter of Credit or Cash Escrow shall name the County as the beneficiary and shall permit partial draws or a full draw. The foregoing stated amount of the Letter of Credit or Cash Escrow shall be reduced by the sum of any and all previous draws under the Letter of Credit or Cash Escrow and payments by the TPM into the TDM Penalty Fund as provided below.

- g. Monitoring. The TPM shall verify that the proffered trip reduction goals are being met through the completion of Person Surveys, Vehicular Traffic Counts of residential uses and/or other such methods as may be reviewed and approved by FCDOT. The results of such Person Surveys and Vehicular Traffic Counts shall be provided to FCDOT as part of the Annual Reporting process. Person Surveys and Vehicular Traffic Counts shall be conducted for the Property beginning one year following issuance of the final initial RUP for the new building to be constructed on the Property. Person Surveys shall be conducted every three (3) years and Vehicular Traffic Counts shall be collected annually until the results of three consecutive annual traffic counts show that the applicable trip reduction goals for the Property have been met. At such time and notwithstanding the provisions below, Person Surveys and Vehicular Traffic Counts shall thereafter be provided every five (5) years. Notwithstanding the aforementioned, at any

time FCDOT may suspend such Vehicle Traffic Counts or Person Surveys if conditions warrant.

h. Remedies and Penalties.

- 1) Pre-Stabilization. If the Maximum Trips After Reduction for the Property is exceeded as evidenced by the Vehicular Traffic Counts outlined above, then the TPM shall meet and coordinate with FCDOT to address, develop and implement such remedial measures as may be identified in the TDM Plan and annual TDMWP.

- a) Such remedial measures shall be funded by the Remedy Fund, as may be necessary, and based on the expenditure program that follows:

<u>Maximum Trips Exceeded</u>	<u>Expenditure</u>
Up to 1%	No Remedy needed
1.1% to 3%	1% of Remedy fund
3.1% to 6%	2% of Remedy Fund
6.1% to 10%	4% of Remedy Fund
Over 10%	8% of Remedy Fund

- b) If the results of the traffic counts conducted during Pre-Stabilization show that the trip reduction goals have been met site-wide for three (3) consecutive years in accordance with the goals outlined on the table below, then a portion of the Remedy Fund as outlined in the same table below shall be released back to the building owners through the TPM. The amount released will be relative to the amount contributed by those buildings constructed and occupied at the time Vehicular Traffic Counts. Any funds remaining in the Remedy Fund after such release will be carried over to the next consecutive three (3) year period.

Up to 65,000,000 Square Feet of GFA in Tysons		65-84,000,000 Square Feet of GFA in Tysons		84-90,000,000 Square Feet of GFA in Tysons	
Meet or Exceed Trip Goal for 3 years by:	Cumulative % Remedy Fund Returned	Meet or Exceed Trip Goal for 3 years by:	Cumulative % Remedy Fund Returned	Meet or Exceed Trip Goal for 3 years by:	Cumulative % Remedy Fund Returned
0% - 4.9%	30%	0.0% - 4.9%	50%	0.0% - 4.9%	65%
5% - 10%	50%	5% - 10%	65%	5% - 8%	80%
10.1% - 15%	65%	10.1% - 13%	80%	8.1% - 10%	90%
15.1% - 18%	80%	13.1% - 15%	90%	>10%	100%
18.1 - 20%	90%	>15%	100%		
>20%	100%				
90-96,000,000 Square Feet of GFA in Tysons		96-113,000,000 Square Feet of GFA in Tysons		113,000,000+ Square Feet of GFA in Tysons	
Meet or Exceed Trip Goal for 3 years by:	Cumulative % Remedy Fund Returned	Meet or Exceed Trip Goal for 3 years by:	Cumulative % Remedy Fund Returned	Meet or Exceed Trip Goal for 3 years by:	Cumulative % Remedy Fund Returned
0.0% - 4.9%	80%	0.0% - 4.9%	90%	> 0.0%	100%
5% - 8%	90%	5%	100%		
>8%	100%				

- c) There is no requirement to replenish the TDM Remedy Fund at any time. Any cash left in the Remedy Fund will be released to the TPM for final distribution to the Applicant/Owner once three consecutive annual Traffic Counts conducted upon Stabilization show that the trip reduction goals have been met.

2) Upon Stabilization.

- a) If the TDM Program monitoring, as evidenced by the Vehicular Traffic Counts outlined above, reveals that the Maximum Trips After Reduction for

the Property is exceeded, then the TPM shall meet and coordinate with FCDOT to address, develop and implement such remedial measures as may be identified in the TDM Plan and annual TDMWP and funded by the Remedy Fund (if available) as may be necessary, commensurate with the extent of deviation from the Maximum Trips After Reduction goal as set forth in accordance with the expenditure schedule outlined above.

- b) If the results of the traffic counts conducted upon Stabilization show that the trip reduction goals have been met site-wide for three (3) consecutive years in accordance with the goals outlined on the table above, then any remaining Remedy Funds shall be released back to the building owners through the TPM.
- c) If despite the implementation of remedial efforts, the applicable Maximum Trips After Reduction (based on the existing development levels in the Tysons Corner Urban Center as described in Paragraph (iv) above) are still exceeded after three consecutive years, then, in addition to addressing further remedial measures as set forth in this Proffer, the TPM shall be assessed a penalty according to the following:

Exceeded Trip Goals	Penalty
Less than 1%	No Penalty Due
1% to 3%	5% of Penalty Fund
3.1% to 6%	10% of Penalty Fund
6.1% to 10%	15% of Penalty Fund
Over 10%	20% of Penalty Fund

- d) The Applicants through the TPM shall make the payments required by this Proffer into the TDM Penalty Fund upon written demand by the County, and the County shall be authorized to withdraw the amounts on deposit in the TDM Penalty Fund. If the Applicants fail to make the required penalty payment to the TDM Penalty Fund within thirty (30) days after written demand, the County shall have the ability to withdraw the penalty amount directly from the Letter(s) of Credit or Cash Escrow(s).

- e) The maximum amount of penalties associated with the Property, and the maximum amount the Applicants shall ever be required to pay pursuant to the penalty provisions of this Proffer, including prior to and after Stabilization, shall not in the aggregate exceed the amount of the Letter(s) of Credit or Cash Escrow(s) determined and computed pursuant to the provisions of the above proffer. There is no requirement to replenish the TDM Penalty Fund at any time. The Letter(s) of Credit and/or any cash left in the Cash Escrow(s) (either Penalty and/or Remedy Funds) shall be released to the TPM once three consecutive counts conducted upon Stabilization show that the Maximum Trips After Reduction have not been exceeded.
- i. Additional Trip Counts. If an Annual Report indicates that a change has occurred that is significant enough to reasonably call into question whether the applicable vehicle trip reduction goals are continuing to be met, then FCDOT may require the TPM to conduct additional Trip Counts (pursuant to the methodology set forth in the TDM Plan) within 90 days to determine whether in fact such objectives are being met. If any such Vehicular Traffic Counts demonstrate that the applicable vehicle trip reduction goals are not being met, then the TPM shall meet with FCDOT to review the TDM strategies in place and to develop modifications to the TDM Plan to address the surplus of trips.
- j. Review of Trip Reduction Goals. At any time and concurrent with remedial actions and/or the payment of penalties as outlined in this Proffer, the TPM may request that FCDOT review the vehicle trip reduction goals established for the Property and set a revised lower goal for the Property consistent with the results of such Person Surveys and Vehicular Traffic Counts provided for by this Proffer. In the event a revised lower goal is established for the Property, the Maximum Trips After Reduction shall be revised accordingly for the subsequent review period without the need for a PCA.
- k. Continuing Implementation. The Applicants through the TPM shall bear sole responsibility for continuing implementation of the TDM Program and compliance with this Proffer. The TPM shall continue to administer the TDM Program in the ordinary course in accordance with this Proffer including submission of Annual Reports.

- l. Notice to Owners. All owners of the Property shall be advised of the TDM Program set forth in this Proffer. The then current owner shall advise all successor owners and/or developers of their funding obligations pursuant to the requirements of this Proffer prior to purchase and the requirements of the TDM Program, including the annual contribution to the TDM Program (as provided herein), shall be included in all initial and subsequent purchase documents.
- m. Enforcement. If the TPM fails to timely submit a report to FCDOT as required by this Proffer, the TPM will have sixty (60) days within which to cure such violation. If after such sixty (60) day period the TPM has not submitted the delinquent report, then the Applicants shall be subject to a penalty of \$100.00 per day not to exceed \$36,500.00 for any one incident. Such penalty shall be payable to Fairfax County to be used for transit, transportation, or congestion management improvements within the vicinity of the Property.

AFFORDABLE/WORKFORCE HOUSING

41. Affordable Dwelling Units. If required by the provisions of Part 8 of Article 2 of the Ordinance, Affordable Dwelling Units ("ADUs") shall be provided pursuant to said regulations unless modified by the ADU Advisory Board.
42. Workforce Dwelling Units. In addition to any ADUs that may be required pursuant to this Proffer, the Applicant shall also provide for-sale and/or rental housing units on the Property in accordance with the Board of Supervisors' Tysons Corner Urban Center Workforce Dwelling Unit Administrative Policy Guidelines dated June 22, 2010. Workforce Dwelling Units ("WDUs") shall be provided such that the total number of ADUs, if any, plus the total number of WDUs results in not less than twenty percent (20%) of the total residential units constructed as part of the Proposed Development; with any units created with bonus floor area excluded from the 20% WDU calculation. If ADUs are provided in the development, both the ADUs and the ADU bonus units shall be deducted from the total number of dwelling units on which the WDU calculation is based.

The WDUs generated by the residential building on the Property shall be provided within said building. A minimum of ten percent (10%) of the dwelling units designated as ADUs and WDUs shall be designed and constructed with Universal Design features, as determined by the Applicant. The WDUs shall have a bedroom mix similar to that provided in the market rate units. Additionally, in the event that parking spaces are guaranteed to be made available for lease to individual market rate dwelling units, at least one (1) parking space shall be made available for lease by each ADU and/or WDU in the development.

Notwithstanding the foregoing, the Applicant reserves the right to enter into a separate binding written agreement with the appropriate Fairfax County agency as to the terms and conditions of the administration of the WDUs following approval of this Application. Such an agreement shall be on terms mutually acceptable to both the Applicant and Fairfax County and may occur after the approval of this Application. Neither the Board of Supervisors nor Fairfax County shall be obligated to execute such an agreement. If such an agreement is executed by all applicable parties, then the WDUs shall be administered solely in accordance with such an agreement and the provisions of this Proffer as it applies to WDUs shall become null and void. Such an agreement and any modifications thereto shall be recorded in the land records of Fairfax County.

PARKS AND RECREATIONAL FACILITIES

43. Publicly Accessible Park Space.

- A. The Applicant shall provide park space on the Property and off-site on adjacent properties that will be open and accessible to the public as depicted on the CDP/FDP. While these park spaces will be retained in private ownership, the Applicant shall record public access easement(s) ensuring that the park space(s) are open to the public for periods of time consistent with traditional Fairfax County parks and providing for perpetual private maintenance. The public access easements shall also reserve to the Applicants the right to reasonably restrict access for limited times for special events, security, maintenance and repairs and/or safety purposes.

Three public park spaces shall be provided as follows:

- (i) A park space of approximately 0.77 acres shall be provided on the Property between Street B and the western property line. Park features shall include an open lawn panel, fountain and fountain stream, a naturalized play hill with stepping stumps and slide, wooden decking around the Red Oak Tree, paths, benches, lighting and landscaping as depicted on Sheets L1.01, L1.02 and L2.03 of the CDP/FDP, as may be adjusted/refined at the time of site plan approval.
- (ii) A park space of approximately 0.66 acre shall be provided off-site on property identified on the 2014 Fairfax County tax maps as 29-4 ((7)) 11A, immediately adjacent and connected to the on-site park described in Paragraph (i) above. Park features shall include a fenced dog park, benches, and supplemental landscaping as depicted on Sheets L1.01 and L1.02, as may be adjusted/refined at the time of site plan approval. Development of this park space will require the filling of an existing pond. In filling the pond, the Applicant shall comply with the requirements of the PFM as it relates to on-site storm drainage, adequate outfall and stormwater management as determined at the time of final site plan. As an alternative, the Applicant reserves the right to not fill in the pond and

instead construct the alternate park plan with outdoor fitness equipment as generally shown on Sheet L1.02 of the CDP/FDP.

- (iii) A linear park space of approximately 0.12 acre shall be provided off-site on property identified on the 2014 Fairfax County tax maps as 29-4 ((7)) 8. This park space will include a concrete pedestrian path a minimum of five (5) feet in width, trees, benches and lighting and will provide a connection between Street C and Westpark Drive as depicted on Sheets L1.01 and L1.02, as may be adjusted/refined at the time of site plan approval.
 - B. Adjustments to the designs and specific details with regard to recreational facilities, park furnishings and finishes may be made at the time of site plan approval, provided such adjustments and details are in substantial conformance with the quality and character of that shown on the CDP/FDP.
 - C. A wayfinding and signage system shall be developed in coordination with the County at the time of site plan approval and installed by the Applicant to ensure the public can easily identify and access the publicly accessible park spaces.
 - D. Prior to the issuance of a building permit for the residential building on the Property, a site plan for the three publicly accessible park spaces described in Paragraph A above, shall be approved and bonded. Construction of the three publicly accessible park spaces shall occur concurrently with development of the residential building and shall be substantially complete and available for public use as soon as possible.
 - E. It is anticipated that the park space provided will be the first phase of a larger neighborhood park that will be constructed by others with the future redevelopment on adjacent parcels (the "Future Expanded Park"). As such, it is likely that some of the park facilities and amenities described in these Proffers will be altered in the future to make space available for other park facilities including an athletic field. Such alterations may be approved with a FDPA on the Property without the necessity of a PCA or CDPA.
44. Amenities and Facilities for Residents. The Applicant shall provide on-site recreational facilities for the future residents of the Property. Pursuant to Paragraph 2 of Section 6-508 and Paragraph 2 of Section 16-404 of the Ordinance regarding developed recreational facilities, the Applicant shall expend a minimum of \$1700.00 per market-rate and workforce residential unit on such recreation facilities. Prior to final bond release for the Property, the balance of any funds not expended on-site, as determined by DPWES shall be contributed to the Fairfax County Park Authority for the provision of recreation facilities serving Tysons Corner.

The specific facilities and amenities to be provided shall be determined at the time of site plan approval. Amenities to be provided may include, but not be limited to:

- A. Private exterior recreational areas/courtyards with seating areas, walking paths, specialty landscaping, lawn areas, hardscape areas, passive recreation areas, and swimming pools;
 - B. Clubroom for community gatherings; and
 - C. Fitness center with exercise equipment such as stationary bikes, treadmills, weight machines, free weights, etc. and/or sports courts.
45. Athletic Field Contribution. The Applicant shall contribute to the future development of an athletic field on the Future Expanded Park or the acquisition and development of athletic fields elsewhere serving the Tysons area by establishing an interest-bearing account referred to herein as the "Athletic Field Fund" and making a contribution in accordance with one of the following two options:
- A. The Applicant may contribute \$1.81 per square foot for the maximum approved GFA on the Property to the Athletic Field Fund on or before June 30, 2015. Such contribution made prior to June 30, 2015 shall not be subject to adjustment as described in Proffer 53.
 - B. The Applicant may contribute \$2.38 for each square foot of actual GFA constructed on the Property at the time of issuance of the first RUP or Non-RUP for the new building. This contribution shall be subject to adjustment as described in Proffer 53.

Upon thirty (30) day written notice from Fairfax County, the Applicant shall release the funds in the Athletic Field Fund, including any accrued interest, to Fairfax County or its designee for use in the acquisition, design and construction of athletic fields serving the Tysons area.

Should the Applicant or its affiliate be the party in the future that dedicates additional land for the athletic field and constructs said field on the Future Expanded Park (or elsewhere as may be determined with a future rezoning application), the Applicant or its affiliate shall be entitled to a credit for the amount contributed pursuant to Paragraph A above toward the development of the athletic field, or a return of the contributed amount, including any accrued interest, pursuant to Paragraph B above for use in developing the athletic field.

PUBLIC FACILITIES

46. Public Space. The Applicant shall make available for use by Fairfax County or its designee for a period of ten (10) years starting August 28, 2015, space consisting of approximately 4,019 square feet of GFA within the existing office building on property identified on the 2014 Fairfax County tax maps as 29-4 ((7)) 7B. Said space shall be utilized by Fairfax County Fire Marshal Office for training, meetings, administrative activities and related uses, for community meeting space, and as a polling space (the "FMO Space"). Said space shall be provided at no cost to the County in keeping with the

stipulations found in the existing lease agreement between the County and the Applicant's affiliate for the FMO Space. Sixteen parking spaces for the FMO Space shall also be made available at no cost, six of which shall be reserved and marked exclusively for the tenant and ten shall be available to the tenant on a non-exclusive basis.

Should it be determined prior to the expiration of the lease that the FMO Space is no longer needed in this location, the space shall be provided for another public/community use. Public/community use of this space shall be limited to museums, art galleries/studios, educational facilities, cultural centers, indoor recreational activities, County or State offices, polling places or other uses mutually agreed upon by the Applicant and the County. Should the Applicant seek to redevelop the building in which the Public Space is located prior to the expiration of the lease, then the Applicant shall provide alternate comparable space and parking arrangements (as determined in concert with the County) in the North Central District of Tysons for the remainder of the lease period. The Applicant shall provide one year's advance notification of the Applicant's intent to provide alternate comparable space.

47. Public School Contribution. Per the Residential Development Criteria Implementation Motion adopted by the Board of Supervisors on September 9, 2002, and revised July, 2006, the Applicant shall contribute \$10,825 per expected student (based on a ratio of 0.106 students per residential unit) to the Fairfax County School Board to be utilized for capital improvements and capacity enhancements to schools that any students generated by the Property will attend. Such contribution shall be made prior to the issuance of the first RUP for new building and shall be based on the actual number of dwelling units built in the building.

If, prior to site plan approval for the residential buildings, Fairfax County should modify, on a county-wide basis, the expected ratio of students per subject multi-family unit or the amount of the contribution per student, the amount of the contribution shall be modified to reflect the then current ratio and/or contribution. This contribution is not subject to the provisions of Proffer 53. If the County should decrease the ratio or contribution amount, the amount of the contribution shall be decreased to reflect the current ratio and/or contribution.

STORMWATER MANAGEMENT

48. Stormwater Management.

A. Stormwater Management ("SWM") measures for the Property shall be designed to protect receiving waters downstream of Tysons Corner by reducing runoff from impervious surfaces using a progressive approach. This progressive approach shall, to the maximum extent practicable, subject to the determination of the Department of Public Works and Environmental Services (DPWES), retain on-site and/or reuse the first inch of rainfall. Proposed SWM and Best Management Practice ("BMP") facilities shall follow a tiered approach as identified by the County which may include infiltration facilities (where applicable), rainwater harvesting/detention vaults, runoff reducing and other innovative BMPs.

Plans submitted subsequent to this rezoning shall identify the use of certain Low Impact Development ("LID") techniques that will aid in runoff volume reduction and promote reuse throughout the site. As a part of the LID techniques proposed, the Applicant shall provide green roofs both intensive and/or extensive, bio-retention (traditional and urban) areas, soil amendments, dry swales, pervious hardscapes/streetscapes, and infiltration.

Additionally, the SWM facilities shall be designed to accommodate not just the pre-developed (existing) peak release rates, but also strive to preserve and/or improve the pre-developed (existing) runoff volumes and reduce pollutant runoff as contemplated within the stormwater management-related credits of the project's registered version, or the most current version, of the U.S. Green Building Council's applicable Leadership in Environmental Education and Design (LEED®) rating system (e.g., for LEED-NC 2009, the Stormwater Design-Quantity Control and Stormwater Design-Quality Control credits [Sustainable Sites 6.1, and 6.2]). The above noted SWM Facilities shall be designed, to the maximum extent practicable, to meet the requirements of the stormwater management-related credits of the project's registered version or the most current version of the U. S. Green Building Council's applicable LEED rating system for each building/phase of the development based upon the LEED Boundary identified with each building/phase.

- B. At the time of a FDPA submission affecting stormwater management, the Applicant shall provide calculations showing the proposed volume reductions and shall work cooperatively with DPWES and DPZ to ensure that the stormwater management measures that would be sufficient to meet the requirements of the aforementioned LEED credits will be provided and that the first inch of rainfall will be retained or reused to the maximum extent practicable. Supporting information shall be included that is of sufficient detail, subject to determination by DPWES in coordination with the Environment and Development Review Branch of DPZ, to demonstrate the viability of the proposed stormwater management strategy for the area subject to the FDPA. This information shall include the following:
 - (i) For any BMP involving infiltration of water into the ground, soil testing information documenting that the soil will be able to support the proposed infiltration measure(s); and
 - (ii) For any measure involving storage and reuse of stormwater runoff, documentation supporting assumed levels of water usage.
- C. The requirements of Paragraph B may be met on an individual FDPA basis or be based upon the total area of the Property. Extended detention facilities and extended release techniques may be used to augment the proposed volume reductions. It is further understood that interim or temporary SWM and BMP measures may be required during any interim phase of the Property.

The FDPA shall include the location and preliminary design of the SWM facilities including the access points to underground vaults. Access points, detailed at the time of FDPA, shall be located outside of the landscape amenity panel and sidewalk zone of the streetscape to the extent feasible.

- D. With each site plan submission, the Applicant shall provide refined calculations illustrating conformance with the proposed volume reductions shown on the CDP/FDP. The specific SWM facilities shall be determined at the time of site plan, and as may be approved by the DPWES. While it is anticipated that compliance with the goal of retaining and/or reusing the first inch of rainfall and meeting the requirements of the aforementioned LEED credits will be confirmed at site plan by utilizing the proposed retention credits identified by the County as part of its stormwater spreadsheet, the Applicant reserves the right to utilize any combination of LID measures (existing and future) to meet this goal, subject to the review and approval of DPWES. Similarly, if all other County suggested stormwater alternatives have been attempted, the Applicant reserves the right to over detain the runoff from a one-inch rainfall to a release rate that mimics that of a "good" forested condition.

Where it is the Applicant's intent to use a rainwater harvesting system ("RWHS") for stormwater credit, variations in reuse water demand may create fluctuations in draw down of the RWHS tank(s). If storage time will exceed 10 days, due to seasonal variation in demand, the Applicant shall have the right to discharge excess volumes off site during non-rainfall periods in a manner and at release rates as allowed by the PFM or as approved by the Director of DPWES. To the extent practicable, such discharges shall mimic release rates from a good forested condition for a significant majority of rainfall events, and/or excess volume shall be directed to other facilities using a "treatment train" approach, if possible, as approved by the Director of DPWES. If for any reason the designed dedicated end use(s) becomes unavailable because of some change, the Applicant shall provide an approved alternative end use or install a properly designed BMP treatment system to achieve runoff reduction and treatment of the runoff.

- E. As part of the development, the Applicant proposes the removal of an existing wet pond on adjacent Parcel 11A (referred to as Pond A) and the filling of the pond area for the creation of park space, as shown on Sheet C-6 of the CDP/FDP. The Applicant prepared and submitted a preliminary drainage study for the watershed draining to Pond C (located on property identified as 2014 Fairfax County Tax Map 29-2 ((15)) A8) for review and approval by Fairfax County during the FDP review process. Prior to the approval of a site plan that proposes filling in Pond A, a reach specific drainage study and channel adequacy analyses shall be performed for the reaches between Pond A and Pond C. This study shall confirm that the flows in the channel are lower than that identified in the preliminary drainage study. Further, if the channel outfall analyses indicate that the downstream drainage channel or Pond B (located on property identified as 2014 Fairfax County Tax Map 29-4 ((7)) C1, C2 and 11A) is inadequate or adversely

impacted by the removal of Pond A, a stream stabilization/restoration plan shall be submitted in accordance with the provisions of Chapter 124 of The Code and the Public Facilities Manual. The stream stabilization/restoration plan shall strive to use natural channel designs and avoid approaches such as armoring banks with rip-rap, concrete or using berms. The plan may also include vegetated buffers along parking lots adjacent to the channels downstream of Pond A and removal of existing concrete flumes that convey parking lot runoff into the channel. If the downstream drainage channel or Pond B is found to be inadequate or adversely impacted by the removal of Pond A, the approved stream stabilization/restoration plan shall be implemented concurrent with the filling of Pond A. As an alternative, the Applicant reserves the right to not fill in Pond A and instead construct the alternate park plan and facilities shown on Sheet L1.02 of the CDP/FDP.

49. Tree Replacement. As shown on the CDP/FDP, the Applicant is requesting a modification of PFM Section 12-0505.6B to allow for trees located above any proposed percolation trench or bio-retention area to count toward the 10-year tree canopy requirement. In the event that any of the said trees may need to be removed for maintenance or repair of those facilities, the Applicant shall replace removed trees as determined by the UFMD to sustain the 10-year canopy.

MISCELLANEOUS

50. Tree Preservation and Planting Fund Contribution. At the time of site plan approval for the new building on the Property, the Applicant shall make a one-time contribution of \$931.00 to the Fairfax County Tree Preservation and Planting Fund.
51. Metrorail Tax District Buyout for Certain Residential Uses. At least sixty days prior to recording any residential condominium documents that would change the use of all or any portion of the Property that either i) is zoned to permit multi-family residential use but is not yet used for that purpose or ii) from use as a multi-family residential real property that is primarily leased or rented to residential tenants or other occupants by an owner who is engaged in such a business, in either case therefore taxable for purposes of the now existing Phase I Dulles Rail Transportation Improvement District (the "Phase I District") to a use that is not subject to the Phase I District tax, the Applicant shall provide a written notice to the Director of the Real Estate Division of the Fairfax County Department of Tax Administration advising that the Applicant intends to record such condominium documents for that portion of the Property. Prior to recording the condominium documents, the Applicant shall pay to Fairfax County a sum equal to the then-present value of Phase I District taxes estimated by the County to be lost as a result of that change in use.
52. Zoning Administrator Consideration. Notwithstanding the foregoing, upon demonstration that, despite diligent efforts or due to factors beyond the Applicant's control, proffered improvements such as, but not limited to, transportation, publicly-accessible park areas, athletic fields, trail connections, and offsite easements, have been delayed (due to, but not limited to, an inability to secure necessary permission for utility

relocations, VDOT approval for traffic signals, necessary easements and/or site plan approval) beyond the timeframes specified, the Zoning Administrator may agree to a later date for completion of these transportation improvement(s).

53. Adjustment in Contribution Amounts. All monetary contributions specified in these Proffers shall adjust on a yearly basis from the base year of 2015 and change effective each January 1 thereafter, based on changes in the Consumer Price Index for all urban consumers (not seasonally adjusted) ("CPI-U"), both as permitted by Virginia State Code Section 15.2-2303.3, except for contributions to the Tysons Grid of Streets Transportation Fund, the Tysons-wide Transportation Fund and public schools, which are subject to separate annual adjustments by the Board of Supervisors.
54. Advanced Density Credit. Advanced density credit is reserved consistent with the provisions of the Fairfax County Ordinance for all eligible dedications described herein or as may be required by Fairfax County or VDOT.
55. Severability. Pursuant to Section 18-204 of the Ordinance, any portion of the Property may be the subject of a proffered condition amendment ("PCA"), Special Exception ("SE"), Special Permit ("SP"), or Final Development Plan Amendment ("FDPA") without joinder and/or consent of the owners of the other portions of the Property, provided that such PCA, SE, SP or FDPA does not materially adversely affect the other phases. Previously approved zoning applications applicable to the balance of the Property that is not the subject of such a PCA, SE, SP or FDPA shall otherwise remain in full force and effect.
56. Successors and Assigns. These Proffers will bind and inure to the benefit of the Applicant and its successors and assigns. Each reference to "Applicant" in this proffer statement shall include within its meaning and shall be binding upon Applicant's successor(s) in interest and/or the owners from time to time of any portion of the Property during the period of their ownership. Once portions of the Property are sold or otherwise transferred, the associated proffers become the obligation of the purchaser or other transferee and shall no longer be binding on the seller or other transferee. With respect to any portion of the Property subject to a COA, the COA shall have liability for performance of any applicable proffers, but not the individual condominium owners.
57. Counterparts. These Proffers may be executed in one or more counterparts, each of which when so executed and delivered shall be deemed an original, and all of which taken together shall constitute but one and the same instrument.

[SIGNATURES BEGIN ON NEXT PAGE]

{A0632550 proffers 11/7/14 clean}

APPLICANT/CONTRACT PURCHASER OF
TAX MAP 29-4 ((7)) 6, 7B PT.

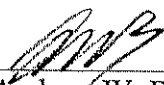
AMHERST PROPERTY, LLC, a Delaware limited liability
company

By: Amherst JV LLC, a Delaware limited liability
company, its sole member/manager

By: KF Amherst LLC, a Virginia limited liability company,
its managing member

By: Kettler Asset Management LLC, a Virginia limited
liability company, its manager

By: Kettler Inc., a Virginia corporation, its sole
member/manager



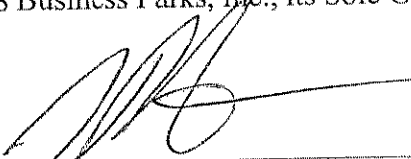
By: Andrew W. Buchanan
Its: President

[SIGNATURES CONTINUE ON NEXT PAGE]

TITLE OWNER OF
TAX MAP 29-4 ((7)) 6, 7B PT.

PS BUSINESS PARKS, L.P., a California Limited
Partnership

By: PS Business Parks, Inc., its Sole General Partner

A handwritten signature in black ink, appearing to be 'JP', written over a horizontal line.

By: John W. Petersen
Its: Executive Vice President and COO

[SIGNATURES END]

DEVELOPMENT CONDITIONS

November 4, 2014

FDP 2014-PR-004

If it is the intent of the Planning Commission to approve Final Development Plan FDP 2014-PR-004 to allow a residential building and park spaces on property located at Tax Map 29-4 ((7)) 6, 7B (pt) staff recommends that the Planning Commission condition the approval by requiring conformance with the following development conditions. These conditions are in addition to the proffered commitments approved with RZ 2014-PR-004.

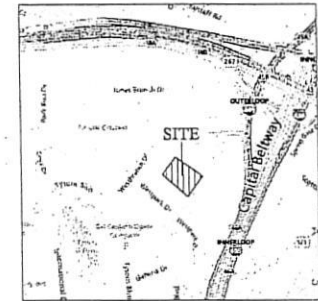
1. Any plan submitted pursuant to this final development plan shall be in substantial conformance with the approved CDP/FDP entitled "7915 Jones Branch Drive," prepared by Vika Virginia, LLC and Parker Rodriguez, and dated December 18, 2013 as revised through October 2, 2014, and these conditions. Minor modifications may be permitted pursuant to Sect. 16-402 of the Zoning Ordinance.
2. At such time as the applicant may renegotiate the lease for the improvements on Tax Map Parcel 29-4 ((7)) 11A, the applicant shall use reasonable efforts to obtain permission to reduce the amount and velocity of stormwater runoff from the surface parking lot located on Parcel 11A, by providing a vegetated buffer adjacent to the stream, provided there is no loss of parking spaces on Parcel 11A..
3. A second submission of a site plan for the improvements shown on this FDP shall not be submitted unless and until the access management waiver for Street C's intersection with Jones Branch Drive is approved by the Virginia Department of Transportation (VDOT).

7915 JONES BRANCH DRIVE

CONCEPTUAL / FINAL DEVELOPMENT PLAN

RZ / FDP 2014-PR-004

PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA
INITIAL SUBMISSION DECEMBER 18, 2013
FEBRUARY 3, 2014
MAY 16, 2014
JULY 16, 2014
AUGUST 21, 2014
OCTOBER 02, 2014



TAX MAP/VICINITY MAP
SCALE - 1" = 1000'

SHEET INDEX:

CIVIL

C-1	COVER SHEET
C-2	NOTES
C-2A	NOTES AND TABULATIONS
C-3	EXISTING CONDITIONS PLAN
C-3A	EXISTING CONDITIONS OVERALL
C-4	EXISTING VEGETATION MAP AND CALCULATIONS
C-4A	TREE PRESERVATION PLAN DETAILS AND NOTES
C-4B	EXISTING TREE PRESERVATION DETAILS
L-1.00	ILLUSTRATIVE LANDSCAPE MASTER PLAN (SHOWN HERE FOR CONTEXT)
C-5	OVERALL CONCEPTUAL/FINAL DEVELOPMENT PLAN
C-6	CONCEPTUAL/FINAL DEVELOPMENT PLAN
C-7	PRELIMINARY PROPOSED UTILITY LAYOUT
C-8	TRAFFIC CIRCULATION & SIGHT DISTANCE PLAN
C-8A	ULTIMATE STREET "C" (BY OTHERS)
C-9	EXISTING & PROPOSED STREET SECTIONS PLAN
C-10	AREA AND METRO CONTEXT PLAN
C-11	STORMWATER MANAGEMENT MAP
C-12	STORMWATER MANAGEMENT GOAL III AND SUPPORTING DATA
C-13	LEED / PPM STORMWATER MANAGEMENT COMPUTATIONS
C-14	STORMWATER COMPUTATIONS
C-15	STORMWATER MANAGEMENT DETAILS
C-16	STORMWATER MANAGEMENT NARRATIVES
C-17	ADEQUATE OUTFALL MAP
C-18	AVERAGE GRADE CALCULATION EXHIBIT

ARCHITECTURE

A-1.0	GROUND FLOOR PLAN
A-1.2	TYPICAL LEVEL
A-2.0	BUILDING SECTIONS
A-3.0	SHADOW STUDY - MARCH / SEPTEMBER
A-3.1	SHADOW STUDY - JUNE
A-3.2	SHADOW STUDY - DECEMBER
A-4.0	ELEVATIONS
A-4.1	ELEVATIONS
A-5.0	VIEWS
A-5.1	VIEWS

LANDSCAPE

L0.00	OVERALL LANDSCAPE SITE PLAN
L0.01	CIRCULATION HIERARCHY PLAN
L1.00	ILLUSTRATIVE LANDSCAPE MASTER PLAN
L1.01	LANDSCAPE / PARK PLAN
L1.02	HARDSCAPE PLAN
L2.01	STREETSCAPE ENLARGEMENTS
L2.02	STREETSCAPE ENLARGEMENTS AND PERSPECTIVES
L2.03	PARK ENLARGEMENTS
L2.03A	WOOD DECK ENLARGEMENT PLAN / SECTIONS
L2.04	PARK SECTIONS
L2.05	ROOF TERRACE AND COURTYARD ENLARGEMENTS
L2.06	ROOF TERRACE SECTIONS
L2.07	COURTYARD SECTIONS
L2.08	COURTYARD SECTIONS
L3.01	STREETSCAPE AND PARK SITE FURNISHINGS

SUPPLEMENTAL SHEETS

S-1	CONCEPTUAL MASTER PLAN
S-2	CONCEPTUAL MASTER PLAN MASSING
S-3	FIRE ACCESS EXHIBIT
S-4	TYSONS CORNER TRANSPORTATION DESIGN STANDARDS SUMMARY



ILLUSTRATIVE DEVELOPMENT PERSPECTIVE

TAX MAP NOS.
29-4 ((7)) PARCEL 6
AND PART OF
29-4 ((7)) PARCEL 7B

APPLICANT:
AMHERST PROPERTY LLC
C/O KETTLER
1751 PINNACLE DRIVE #700
MCLEAN, VIRGINIA 22102
GRAHAM TYRRELL (703) 641-5358

ATTORNEY:
WALSH, COLUCCI, LUBELEY, & WALSH, PC
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ARLINGTON, VIRGINIA 22201
MARTIN WALSH
ELIZABETH BAKER
(703) 528-4700

ARCHITECT:
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601 EAST PRATT STREET, SUITE 300
BALTIMORE, MARYLAND 21202
MICHAEL GOODWIN
(410) 685-6655

ENGINEER:
VIKA VIRGINIA, LLC
8180 GREENSBORO DRIVE, SUITE 200
TYSONS, VIRGINIA 22102
ROBERT COCHRAN, L.S. (703) 442-7800

LANDSCAPE ARCHITECT:
PARKER RODRIGUEZ
101 N. UNION STREET
ALEXANDRIA, VIRGINIA 22314
DENNIS CARMICHAEL
(703) 548-5010

TRANSPORTATION:
WELLS + ASSOCIATES, INC.
1420 SPRING HILL ROAD, SUITE 610
TYSONS, VIRGINIA 22102
MIKE PINKOSKE (703) 917-6620



NOTES

- THE PROPERTY THAT IS THE SUBJECT OF THIS ZONING CONSISTS OF PARCELS IDENTIFIED ON THE 2013 FAIRFAX COUNTY TAX ASSESSMENT MAP AS 29-4 (77) 6 AND PART OF 29-4 (77) 7B. THE PROPERTY IS CURRENTLY ZONED C-3. THE PURPOSE OF THIS APPLICATION IS TO REZONE THE PROPERTY FROM C-3 TO PTC, AND TO DEVELOP THE PROPERTY AS GENERALLY SHOWN ON THE CDP/TOP.
- THE HORIZONTAL DATUM IS VIRGINIA STATE GRID NORTH, VES '83.
- THE TOPOGRAPHY SHOWN HEREON WAS FIELD RUN BY VMA VIRGINIA, INC. AND THE CONTOUR INTERVAL IS TWO (2) FEET.
- THE BOUNDARY INFORMATION WAS PREPARED BY VMA VIRGINIA, INC.
- THE PROPERTY IS LOCATED IN THE URBAN NEIGHBORHOOD SUB-DISTRICT OF THE NORTH CENTRAL DISTRICT OF THE TYSONS CORNER URBAN CENTER OF THE FAIRFAX COMPREHENSIVE PLAN.
- PUBLIC WATER AND SANITARY SEWER ARE AVAILABLE AND WILL BE EXTENDED TO SERVE THE DEVELOPMENT.
- STORMWATER MANAGEMENT AND BMP FACILITIES FOR THE PROPOSED DEVELOPMENT WILL BE PROVIDED ON SITE THROUGH A COMBINATION OF LID DEVICES AS DETICED HEREON (SEE SHEETS C-11 TO C-17) IN ACCORDANCE WITH THE TYSONS URBAN STORMWATER PLAN.
- TO THE BEST OF OUR KNOWLEDGE, NO GRAVE SITES OR STRUCTURES MARKING A BURIAL SITE ARE PRESENT ON THE SUBJECT PROPERTY.
- TO THE BEST OF OUR KNOWLEDGE, NO HAZARDOUS OR TOXIC SUBSTANCES ARE KNOWN TO EXIST ON THE SUBJECT PROPERTY.
- THE ENTIRE SUBJECT PROPERTY IS NOT LOCATED WITHIN A FEMA ZONE, NO MAJOR FLOODPLAIN, R.F.A. OR ENVIRONMENTAL QUALITY CORRIDOR CURRENTLY EXIST ON THIS PROPERTY. THERE IS AN EXISTING MINOR FLOODPLAIN IN THE AREA OF THE PROPOSED OFFSITE PARK IMPROVEMENT. (SEE SHEET C-3A)
- THIS SITE IS IMPROVED WITH A 6-STORY OFFICE BUILDING CONSTRUCTED APPROXIMATELY IN 1977. THE BUILDING IS PLANNED TO BE DEMOLISHED. DEVELOPMENT IS EXPECTED TO COMMENCE UPON COMPLETION OF ALL REQUIRED FAIRFAX COUNTY PLAN DEVELOPMENT AND APPROVALS. COMMENCEMENT OF DEVELOPMENT IS ALSO SUBJECT TO MARKET DEMAND.
- THE DEVELOPMENT CONFORMS TO THE PROVISIONS OF ALL APPLICABLE STANDARDS WITH THE EXCEPTION OF WAIVERS AND MODIFICATIONS REQUESTED ON THIS SHEET AND APPROVED WITH THIS REZONING.
- LANDSCAPED OFFICE SPACE AREAS SHOWN HEREON MAY BE MODIFIED AT THE TIME OF ENGINEERED SITE PLAN. PROVIDED SUBSTANTIAL CONFORMANCE TO SITE, FUNCTION AND QUALITY OF THESE AREAS IS MAINTAINED.
- THE BUILDING FOOTPRINTS, GARAGES, PLAZAS, PARKS AND STREETS REPRESENTED HEREON MAY BE ALTERED, MOVED AND INCREASED OR DECREASED IN SIZE OR QUANTITY AT THE TIME OF SITE PLAN (WITHIN SUBSTANTIAL CONFORMANCE ALLOWANCES) WITHOUT THE NEED TO AMEND THE CONCEPT/FINAL DEVELOPMENT PLAN SO LONG AS THE MINIMUM/MAXIMUM GFA, BUILD TO LINE, BUILDING SETBACKS FROM THE PROPERTY LINE AS SHOWN ON THE CDP/TOP, ARE MAINTAINED, AND THE MINIMUM/MAXIMUM NUMBER OF RESIDENTIAL UNITS, AND MINIMUM/MAXIMUM BUILDING HEIGHTS COMPLY WITH THOSE SHOWN ON THE CDP/TOP, AS DETERMINED BY THE ZONING ADMINISTRATOR.
- SITE ADJUNCTS, FEATURES AND FURNISHINGS REPRESENTED HEREON ARE CONCEPTUAL, AND, AS SUCH, ARE INTENDED TO REFLECT THE GENERAL THEME AND CHARACTER OF THE PROPOSED DEVELOPMENT. FINAL SELECTION MAY VARY AT THE TIME OF SITE PLAN, BUT WILL BE CONSISTENT WITH THE QUALITY OF THE DESIGN REPRESENTED HEREON. ADDITIONAL SITE ADJUNCTS AND FEATURES SUCH AS PLANTERS, GAZEBOS, BENCHES, OTHER SEATING AREAS, WALKWAYS, TRELLISES, WATER FOUNTAINS OR SPECIAL FEATURES, PUBLIC ART, SIGN, WALLS (LESS THAN 3 FT IN HEIGHT), LIGHTS, UTILITY AND MAINTENANCE STRUCTURES AND SIMILAR FEATURES NOT REPRESENTED HEREON MAY BE PROVIDED AS LONG AS THE RESULTANT DEVELOPMENT IS IN SUBSTANTIAL CONFORMANCE WITH THE QUALITY REPRESENTED ON THE CDP/TOP.
- THE PROPOSED DEVELOPMENT ON THE SUBJECT PROPERTY WILL NOT POSE ANY ADVERSE EFFECT ON ADJACENT OR NEIGHBORING PROPERTIES.
- THE PROJECT WILL MEET THE PARKING REQUIREMENTS AS SET FORTH IN THE PTC ZONE PER ARTICLES 6 & 11 OF THE ZONING ORDINANCE AND SHALL BE PROVIDED IN PARKING STRUCTURES AND SURFACE SPACES. THE NUMBER OF PARKING SPACES PROVIDED HEREON MAY BE ADJUSTED AT THE TIME OF SITE PLAN BASED ON THE ACTUAL AMOUNT OF GFA AND MIX OF USES, AS DETERMINED BY THE ZONING ADMINISTRATOR. THE FINAL DESIGNATION AND/OR RESTRICTION OF ON-STREET PARKING SPACES—INCLUDING THE LOCATION OF HANDICAP SPACES—SHALL BE DETERMINED IN CONSULTATION WITH VDOT AND FDOT AT TIME OF SITE PLAN.
- SIGNAGE WILL BE PROVIDED IN ACCORDANCE WITH THE ZONING ORDINANCE OR A COMPREHENSIVE SIGN PLAN.
- THERE ARE NO SCENIC ASSETS OR NATURAL FEATURES ON THE PROPERTY WORTHY OF DELINEATION, AND THE PROPERTY IS NEITHER IN NOR ADJACENT TO A HISTORIC OVERLAY DISTRICT.
- THERE ARE NO EXISTING UTILITY EASEMENTS HAVING A WIDTH OF TWENTY FIVE (25) FEET OR MORE. THERE ARE NO MAJOR UNDERGROUND UTILITY EASEMENTS LOCATED ON THIS SITE.
- APPLICANT RESERVES THE RIGHT TO DETERMINE THE HEIGHT, UNIT COUNT, AND FINAL GFA OF THE BUILDING AT SITE PLAN, PROVIDED THE MINIMUMS SHOWN HEREON ARE NOT REDUCED NOR MAXIMUMS EXCEEDED.
- MINOR MODIFICATIONS TO WHAT IS SHOWN ON THIS PLOT MAY BE MADE TO THE CONSTRUCTION PLANS FOR THE SUBJECT PROPERTY—PER SECTION 16-402 OF THE ZONING ORDINANCE.
- THE SUBJECT PROPERTY MAY BE SUBDIVIDED IN THE FUTURE FOR THE PURPOSE OF SALE, JOINT VENTURE, OR PHASING. ANY PROPOSED SUBDIVISION SHOWN ON CDP/TOP MAY BE MODIFIED ADMINISTRATIVELY BY THE DIRECTOR OF DPMS WITHOUT REQUIRING MODIFICATION OF THE CDP/TOP PLAN.
- ALL PRIVATE STREETS SHALL BE DESIGNED TO MEET PVM CRITERIA. THE DESIGN SPEED SHALL BE DETERMINED AT TIME OF SITE PLAN.
- FINAL BUILDING HEIGHTS ARE TO BE DETERMINED AT SITE PLAN. PROVIDED MAXIMUMS ARE NOT EXCEEDED AND MINIMUMS ARE NOT REDUCED SHOWN HEREON.
- PUBLIC ACCESS EASEMENTS WILL BE PROVIDED OVER ALL PRIVATE STREETS AND PUBLIC PARK AREAS, UNTIL THEY BECOME PUBLIC.
- ROOT BARRIERS WILL BE REQUIRED IN TREE PITS ADJACENT TO PUBLIC STREETS AS DETERMINED BY VDOT AT SITE PLAN.

- BIKEWAY PARKING WILL BE PROVIDED IN ACCORDANCE WITH THE BIKE PARKING GUIDELINES & THE TYSONS CORNER URBAN DESIGN GUIDELINES, AS COORDINATED WITH FDOT AND DPMS AT TIME OF SITE PLAN.
- PROPOSED ROADWAY IMPROVEMENTS (ENTRANCES, CURBING, ETC.) MAY REQUIRE EXCEPTION/DEVIATION FROM THE TRANSPORTATION DESIGN GUIDELINES FOR TYSONS CORNER URBAN CENTER (AS MAY BE DETERMINED AT SITE PLAN). COMPLIANCE WITH SUCH EXCEPTIONS / CHANGES SHALL NOT REQUIRE AN AMENDMENT TO THE CDP/TOP PROVIDED SUCH CHANGES ARE IN SUBSTANTIAL CONFORMANCE WITH THE CDP/TOP. SEE SHEET FOR REQUESTED TRANSPORTATION WAIVERS.
- ALL GRADING INDICATED ON THIS CDP/TOP IS CONCEPTUAL AND SUBJECT TO CHANGE AT SITE PLAN.
- AREAS OF SHARED PARKING, MANAGED PARKING AND/OR TANDEN/VALET PARKING SHALL BE DEMONSTRATED ON THE SITE PLAN, AND OPERATED IN ACCORDANCE WITH THE PROTECTIONS.
- PURSUANT TO ARTICLE 2 SECTION 6-502 OF THE ZONING ORDINANCE (AND SUBJECT TO THE USE LIMITATIONS OF THE PTC DISTRICT), IN ADDITION TO THE RESIDENTIAL, NON-RESIDENTIAL, OFFICE, RETAIL AND OTHER USES DEFINED IN TABULATIONS, THE FOLLOWING ADDITIONAL USES MAY BE PERMITTED WITHOUT REQUIRING AN AMENDMENT TO THE CDP/TOP INCLUDING BUT NOT LIMITED TO: ACCESSORY USES, ATMA, BUSINESS SERVICE & SUPPLY SERVICE ESTABLISHMENTS, QUICK SERVICE FOOD STORES, FAST FOOD RESTAURANTS, HEALTH CLUBS AND SIMILAR COMMERCIAL RECREATIONAL USES, COMMUNITY USES, EATING ESTABLISHMENTS, FINANCIAL INSTITUTIONS, CARWASH CLEANING ESTABLISHMENTS, OFFICES, PERSONAL SERVICE ESTABLISHMENTS, PUBLIC AND QUARTER PUBLIC USES, RETAIL SALES ESTABLISHMENTS AND SIMILAR USES, FINANCIAL INSTITUTIONS AND CHILD CARE CENTERS AND FOOD VENDING TRUCKS SHALL BE PERMITTED, SUBJECT TO APPROVAL, AS SHOWN VIA FDOT OR SE, PURSUANT TO PARAGRAPH 20 OF SECTION 10-102 OF THE ZONING ORDINANCE.
- ALL ENTRANCES ON PUBLIC STREETS SHALL TYPICALLY BE CONSTRUCTED AS VDOT STD CD-13 UNLESS INDICATED OTHERWISE AND AS DETERMINED BY VDOT AT SITE PLAN.
- A GRAPHIC DEPICTION OF THE ANGLE OF BLANK PLANE FOR THE PROPOSED DEVELOPMENT SITE IS NOT REQUIRED AS THIS DEVELOPMENT IS NOT LOCATED NEAR THE PERIPHERY OF THE TYSONS URBAN CENTER AS DESCRIBED IN SECTION 16-102 OF THE ZONING ORDINANCE.
- ALL PROPOSED SIGNALS AND EXISTING SIGNAL MODIFICATIONS ARE SUBJECT TO VDOT REVIEW AND APPROVAL.
- ALL LAKE USE (EX. INTERNAL OR PLANNED) AND/OR CROSSWALKS (OR OTHER PAVEMENT WARDINGS ON PUBLIC STREETS) ARE SUBJECT TO REVIEW AND APPROVAL BY VDOT AT THE TIME OF SITE PLAN AND MAY BE MODIFIED WITHOUT THE NEED FOR PCA, CDPA AND/OR FOPA.
- THIS PLAN IS CONCEPTUAL AND IS INTENDED TO BE USED IN CONSULTATION WITH THE LAND USE APPROVAL PROCESS ONLY. IT IS NOT AN ENGINEERING CONSTRUCTION DRAWING, AND MINOR DEVIATIONS AND ADJUSTMENTS MAY BE REQUIRED—AND ARE PERMITTED PURSUANT TO ZONING ORDINANCE SECTION 16-304(5)—AS PART OF THE FINAL SITE PLAN APPROVAL PROCESS. HOWEVER, THE FINAL CONSTRUCTION DRAWINGS SHALL BE IN SUBSTANTIAL CONFORMANCE WITH THIS PLAN.
- AN ACCESS MANAGEMENT PLAN HAS BEEN SUBMITTED TO VDOT FOR THE INTERSECTION, ULTIMATELY BY REDEVELOPMENT OF THE PROPERTY TO THE SOUTH STREET "X" WOULD BE NEEDED TO INCLUDE PARKING AND STREETSCAPE AS WELL TO PROVIDE ACCESS TO THE SITE.
- AN ACCESS MANAGEMENT WAIVER HAS BEEN SUBMITTED TO VDOT FOR THE PROXIMITY TO THE EXISTING ADJOINING DRIVEWAY.

WORK FORCE HOUSING NOTE:

FOR WORK FORCE DWELLING UNITS (WDFU) WILL BE PROVIDED IN CONFORMANCE WITH THE COMPREHENSIVE PLAN RECOMMENDATIONS AND THE APPROVED PROTECTIONS.

ZONING ORDINANCE WAIVERS / MODIFICATIONS REQUESTED

ZONING ORDINANCE ARTICLE 2 - GENERAL REGULATIONS

- APPLICANT REQUESTS A WAIVER OF SECTION 2-505 OF THE ZONING ORDINANCE TO ALLOW BUILDINGS TO BE CONSTRUCTED TO THE STREETSCAPE BUILDING ZONE LINE ON CORNER LOTS ON PUBLIC STREETS AND LOTS WITH PRIVATE STREET EASEMENTS WHICH MAY CREATE A CORNER LOT CONFIGURATION AS DEFINED IN THE ZONING ORDINANCE.
- APPLICANT REQUESTS A WAIVER / MODIFICATION OF SECTION 2-506-2 TO ALLOW FOR A PARAPET WALL, CONFORM OR SIMILAR PROJECTION TO EXCEED THE HEIGHT LIMIT ESTABLISHED BY MORE THAN THREE (3) FEET IN ORDER TO SPEED MECHANICAL EQUIPMENT, AS MAY BE INDICATED ON THE TOP.

ZONING ORDINANCE ARTICLE 6 - PLANNED DEVELOPMENT DISTRICT REGULATIONS

- APPLICANT REQUESTS A MODIFICATION OF ARTICLE 6-501-2 OF THE ZONING ORDINANCE FOR THE TYSONS CORNER URBAN CENTER STREETSCAPE DESIGN IN FAVOR OF THAT SHOWN ON THE CDP/TOP:
 - STREETSCAPE ALONG THE SOUTH SIDE OF STREET "C"
 - STREETSCAPE ALONG THE NORTH SIDE OF STREET "A"
 - STREETSCAPE ALONG BOTH SIDES OF THE OFFSITE PORTION OF STREET "C"
- APPLICANT REQUESTS A WAIVER OF SECTION 6-506 PARAGRAPH 1 TO ALLOW A DISTRICT SIZE LESS THAN 10 ACRES FOR AN APPLICATION.

ZONING ORDINANCE ARTICLE 13 - LANDSCAPING

- APPLICANT REQUESTS A MODIFICATION / WAIVER OF THE 36 INTERIOR PARKING LOT LANDSCAPE REQUIREMENTS (SECTION 13-202-1) TO THAT SHOWN ON THE CDP/TOP.

ZONING ORDINANCE ARTICLE 17 - SITE PLAN

- APPLICANT REQUESTS A WAIVER OF SECTION 17-201-(3)(B) REQUIRING ADDITIONAL INTER-PARCEL ACCESS TO ADJACENT PARCELS (OTHER THAN THOSE SHOWN ON THE CDP/TOP) AND AS PROTECTED.
- APPLICANT REQUESTS A WAIVER AND/OR MODIFICATION OF SECTION 17-201 ALL TRAILS AND BIKE TRAILS IN FAVOR OF THE STREETSCAPE AND ON-ROAD BIKE LANE SYSTEM SHOWN ON THE CDP/TOP AND AS PROTECTED.
- THE APPLICANT REQUESTS A DETERMINATION OF ZONING ORDINANCE SECTION 17-201 PARAGRAPH (4) REQUIRING ANY FURTHER DEDICATION AND CONSTRUCTION OF WORKING FOR EXISTING ROADS. BEYOND THAT WHICH IS INDICATED ON THE CDP/TOP. DEDICATION AND IMPROVEMENTS SHOWN ON THE CDP/TOP SHALL BE DESIGNED TO MEET ALL COMPREHENSIVE PLAN POLICY PLAN REQUIREMENTS.
- IN ACCORDANCE WITH ZONING ORDINANCE SECTION 17-201 (7), THE APPLICANT REQUESTS THE RIGHT TO ESTABLISH PARKING CONTROL, SIGN (INCLUDING SPACING AND LOCATION), AND PARKING MOTORS ALONG INTERIOR PUBLIC STREETS AND PRIVATE STREETS WITHIN AND ADJACENT TO THE DEVELOPMENT IN COORDINATION WITH FDOT.

SEE PFM WAIVERS/MODIFICATIONS 1-5 AS REQUESTED FROM THE BOARD OF SUPERVISORS.

PFM WAIVERS / MODIFICATIONS REQUESTED

PUBLIC FACILITIES MANUAL WAIVERS / MODIFICATIONS REQUESTS

- WAIVER OF PFM SECTION 6-503(3), TO ALLOW STORMWATER MANAGEMENT FACILITIES (SWM AND BMP) TO BE PROVIDED WITHIN UNDERGROUND SYSTEMS WITHIN THE RESIDENTIAL BLOCKS OF THE PROPOSED DEVELOPMENT. (SEPARATE WAIVER FILED 025530-PFM-001-1)
- MODIFICATION OF SECTION 12-050R FOR TREE PRESERVATION TARGET. SEE SHEET C-4A FOR DEVIATION REQUEST SPECIFICS.
- MODIFICATION OF SECTION 13-050R TO PERMIT:
 - REDUCTION IN THE MINIMUM OPEN PLANTING AREA FROM EIGHT (8) FEET, TO A MINIMUM OF FOUR (4) FEET IN ORDER FOR TREES TO SATISFY THE TREE COVER REQUIREMENT. REFER TO LANDSCAPE PLANS HEREON FOR GRAPHIC OF THE PROPOSED PLANTING AREA.
 - TREES LOCATED IN EXISTING OR PROPOSED RIGHT-OF-WAY DEDICATION AREAS TO COUNT TOWARD THE 10-YEAR TREE CANOPY REQUIREMENTS.
- WAIVER OF SECTION 6-02013 REQUIRING TRAILS AND BIKE TRAILS SHOWN ON THE COMPREHENSIVE TRAILS SYSTEM OR BIOTENTION AREAS TO COUNT TOWARD COUNTY TREE COVER REQUIREMENTS.
- MODIFICATION OF SECTION 12-06013R TO PERMIT THE REDUCTION OF THE MINIMUM PLANTER OPENING AREA FOR TREES USED TO SATISFY THE TREE COVER REQUIREMENT, IN FAVOR OF THAT SHOWN ON THE CDP/TOP AND AS PROTECTED.
- MODIFICATION OF SECTION 12-0515R TO ALLOW FOR TREES LOCATED ABOVE ANY PROPOSED PERCOLATION TRENCH OR BIO-RETENTION AREAS TO COUNT TOWARD COUNTY TREE COVER REQUIREMENTS.
- APPLICANT REQUESTS A MODIFICATION OF THE AREA TO BE COUNTED FOR THE 36 INTERIOR PARKING LOT LANDSCAPING (12-05142) TO INCLUDE AREAS OF THE PUBLIC STREET "A", "B" AND "C" AND THE EXPOSED SURFACES ON THE PARKING DECK AS SHOWN ON SHEET 10.01.

THE FOLLOWING PFM WAIVERS/MODIFICATIONS 6 THRU 8 ARE REQUESTED FROM THE DIRECTOR TO SUPPORT THE DESIGN ELEMENTS AND PROTECTED COMMITMENTS OF THIS APPLICANT AND CDP/TOP. APPLICANT REQUESTS THE BOARD SUPPORT THESE PFM WAIVERS AND MODIFICATION AND DIRECT THE DIRECTOR TO GRANT THESE WAIVERS/MODIFICATIONS AT SITE PLAN.

- WAIVER OF PFM SECTION 7 IN FAVOR OF THE TRANSPORTATION DESIGN STANDARDS FOR THE TYSONS CORNER URBAN CENTER.

PFM SECTION 8 - STORMWATER AND BMP CODE REQUIREMENTS

- DEVIATIONS / MODIFICATION OF REQUIRED SWM AND BMP CRITERIA BY THE DIRECTOR, DPMS AS OUTLINED IN THE "STORMWATER MANAGEMENT DESIGN PFM DEVIATIONS NARRATIVE" OUTLINED ON STORMWATER MANAGEMENT SHEETS AND AS FOLLOWS:
 - ALL REQUIRED DEVIATIONS OF PFM SECTION 8-1304.2C TO ALLOW FOR INSTALLATION OF PERMEABLE PAVEMENT SYSTEMS THAT UTILIZE INFILTRATION TO BE CONSTRUCTED ON IN-SITU FILL MATERIAL. PROVIDED FIELD TESTS SHOW ADEQUATE INFILTRATION RATES EXIST FOR IN-SITU MATERIAL.
 - ALL REQUIRED DEVIATIONS OF PFM SECTION 8-1304.2F TO SET THE MINIMUM HORIZONTAL SETBACKS FOR BOTH INFILTRATING AND NON-INFILTRATING SYSTEMS FROM BUILDING FOUNDATIONS BE REDUCED TO ZERO (0) FEET IN ORDER TO FACILITATE INSTALLATION OF PERMEABLE PAVEMENT IN AN URBAN ENVIRONMENT SET FORTH IN THE TYSONS CORNER DESIGN GUIDELINES.
 - ALL REQUIRED DEVIATIONS OF PFM SECTION 8-1304.4 TO ALLOW UTILIZATION OF INFILTRATION RATES LESS THAN 0.32 IN/HR FOR DESIGN OF INFILTRATION SYSTEMS UTILIZED TO MEET THE COMPREHENSIVE PLAN REQUIREMENT FOR RETENTION OF THE FIRST 1" OF RUNOFF ON-SITE.
 - ALL REQUIRED DEVIATIONS OF PFM SECTION 8-1306.3F TO ALLOW FOR ANY DETENTION FACILITY LOCATED WITHIN A BUILDING OR GARAGE STRUCTURE TO BE GOVERNED BY BUILDING CODE REQUIREMENTS FOR ACCESS AND MAINTENANCE.
 - ALL REQUIRED DEVIATIONS OF PFM SECTION 8-1307.2C TO ALLOW FOR INSTALLATION OF BIO-RETENTION FACILITIES THAT UTILIZE INFILTRATION TO BE CONSTRUCTED ON IN-SITU FILL MATERIAL. PROVIDED FIELD TESTS SHOW ADEQUATE INFILTRATION RATES EXIST FOR IN-SITU MATERIAL.
 - ALL REQUIRED DEVIATIONS OF PFM SECTION 8-1307.2C TO SET THE MINIMUM HORIZONTAL SETBACKS FROM BUILDING FOUNDATIONS BE REDUCED TO ZERO (0) FEET IN ORDER TO FACILITATE INSTALLATION OF BIO-RETENTION SYSTEMS IN AN URBAN ENVIRONMENT SET FORTH IN THE TYSONS CORNER DESIGN GUIDELINES.
 - ALL REQUIRED DEVIATIONS OF PFM SECTION 8-1307.2F TO ALLOW INSTALLATION OF BIO-RETENTION FACILITIES IN THE VICINITY OF LOADING DOCKS, VEHICLE MAINTENANCE AREAS OR OUTDOOR STORAGE AREAS TO ACCOMMODATE THE URBAN ENVIRONMENT SET FORTH IN THE TYSONS CORNER DESIGN GUIDELINES.
 - ALL REQUIRED DEVIATIONS OF PFM SECTION 8-1307.2C TO ALLOW FOR THE MAXIMUM DRAINAGE AREAS TO BIO-RETENTION FILTERS UTILIZED FOR RETENTION OF THE FIRST 1" OF RUNOFF BE ELIMINATED IN ORDER TO ACCOMMODATE ROOFTOP RUNOFF PAVED TO PROPOSED STRUCTURES.
 - ALL REQUIRED DEVIATIONS OF PFM SECTION 8-1308.2C TO ALLOW INSTALLATION OF TREE BOX FILTERS IN THE VICINITY OF LOADING DOCKS, VEHICLE MAINTENANCE AREAS OR OUTDOOR STORAGE AREAS TO ACCOMMODATE THE URBAN ENVIRONMENT SET FORTH IN THE TYSONS CORNER DESIGN GUIDELINES.



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7915 JONES BRANCH DRIVE
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

NOTES

VIKA REVISIONS

REV.	DATE	DESCRIPTION
REV. 10/02/14		
REV. 08/21/14		
REV. 07/16/14		
REV. 05/16/14		
REV. 02/25/14		
INITIAL SUB. 12/18/13		
DES.	REC.	DWN.
		REC.
SCALE:		AS SHOWN
PROJECT/FILE NO.		VY7386F
SHEET NO.		C-2

CDP DEVELOPMENT TABULATION

Building Height [1]		Range of Stories [2]	Use [3]	Building GFA	Dwelling Units	WDUs [4]	Parking Permitted/Provided Non-TOD Districts [5]		Loading Spaces [6]
Min.	Max.						Min.	Max.	
55'	90'	5-7	Residential Non-Residential	295,000 - 450,000 0 - 12,300	275 - 400	46-66	327 - 475 0 - 55	413 - 602 0 - 80	1
TOTALS				295,000 - 450,000	275 - 400	46 - 66	327 - 530	413 - 682	1

FDP DEVELOPMENT TABULATION

Building Height [1]		Range of Stories [2]	Use [3]	Building GFA	Dwelling Units	WDUs [4]	Parking Permitted/Provided Non-TOD Districts [5]		Loading Spaces [6]
Min.	Max.						Min.	Max.	
55'	90'	5-7	Residential Non-Residential	295,000 - 450,000 0 - 2,500	275 - 400	46-66	327 - 475 0 - 11	413 - 602 0 - 16	1
TOTALS				295,000 - 450,000	275 - 400	46-66	327 - 485	413 - 618	1

* APPROXIMATE

- [1] Building height is measured from average grade and includes the podium and any social rooms/usable area on the roof penthouse level. Building height does not include architectural embellishments or mechanical penthouse, such features may be a maximum of 20 feet.
- [2] The number of floors shown is conceptual and may be adjusted provided the maximum building height is not exceeded.
- [3] Non-residential use as indicated in this tabulation may include a variety of commercial uses such as, but not limited to, eating establishments and fast food restaurants as well as public uses and residential amenity space. (See Proffers.)
- [4] The number of WDUs to be provided is estimated and will be calculated at the time of site plan based on the number of units to be constructed, the policies set forth in the Comprehensive Plan and the Tysons' Corner Urban Center Workforce Dwelling Unit Administrative Policy Guidelines. Being located beyond 1/4 mile of a Metro station, any units created with WDU bonus floor area will be excluded from the 20% WDU calculation.
- [5] The minimum required and maximum permitted parking spaces for each use were calculated in accordance with Sect. 6-509 of the Zoning Ordinance, which is restated below for the primary uses proposed on the CDP/FDP. It is understood that commercial uses have differing parking rates but for the purposes of this tabulation, parking was based on retail sales establishments rates. Residential parking was based on an average mix of 65% 0-1 bedroom units and 35% 2-bedroom units. At the time of site plan, parking will be provided based on the specific uses, GFA, number of units and mix of bedroom types and the minimum and maximum rates set forth in Section 6-509 of the Zoning Ordinance.

Primary Use	Parking Permitted/Provided Non-TOD Districts	
	Minimum	Maximum
Non-Residential (retail/service etc.)	75% of rates set forth in Zoning Ordinance Section 11-104	110% of rates set forth in Zoning Ordinance Section 11-104

- [6] Additional loading spaces may be provided as identified at the time of final site plan provided such spaces do not negatively impact the streetscape or substantially increase the width of the loading entrances.

LAND USE MIX

Use	GFA	Percentage of Total [1]	FAR [2]
Residential	295,000 - 437,700	100 - 97%	1.18 - 1.75
Non-Residential	0 - 12,300	0 - 3%	0 - 0.05
TOTAL	295,000 - 450,000		1.18 - 1.80

- [1] Percentages are based on the maximum GFA scenario.
- [2] Calculation of FAR is based on land area and density credits totaling 250,628 SF.

INTENSITY TIERS

Intensity Tiers	Land Area and Density Credits	GFA	FAR
< 1/2 mile	106,372 SF	169,000 [2]	1.78
Non-TOD > 1/2 mile	144,256 SF	261,000 [3]	1.81
TOTAL	250,628 SF	450,000	1.80

- [1] Intensity calculations are based on the maximum GFA scenario.
- [2] Includes 42% of the building GFA.
- [3] Includes 58% of the building GFA.

WORKFORCE HOUSING BONUS [1] [2]

	Base Before Bonus	20% Bonus	Total With Bonus
GFA	375,000 SF	75,000 SF	450,000 SF
FAR	1.50	0.30	1.80
All Units	333	67	400
WDUs	66	0 [3]	66

- [1] The Property is located beyond 1/4 mile from a metro station and thus is entitled to bonus intensity for the provision of Workforce Dwelling Units (WDUs). A bonus of 20% of residential GFA is permitted for the provision of WDUs.
- [2] Calculations are based on the maximum GFA scenario; the actual number of WDUs provided will be calculated at the time of site plan approval based on the number of units to be constructed.
- [3] In accordance with Comprehensive Plan recommendations, beyond a 1/4 mile of a metro station, any units created with bonus floor area should be excluded from the 20% WDU calculation.



SOILS MAP DATA
95 URBAN LAND - NOT RATED



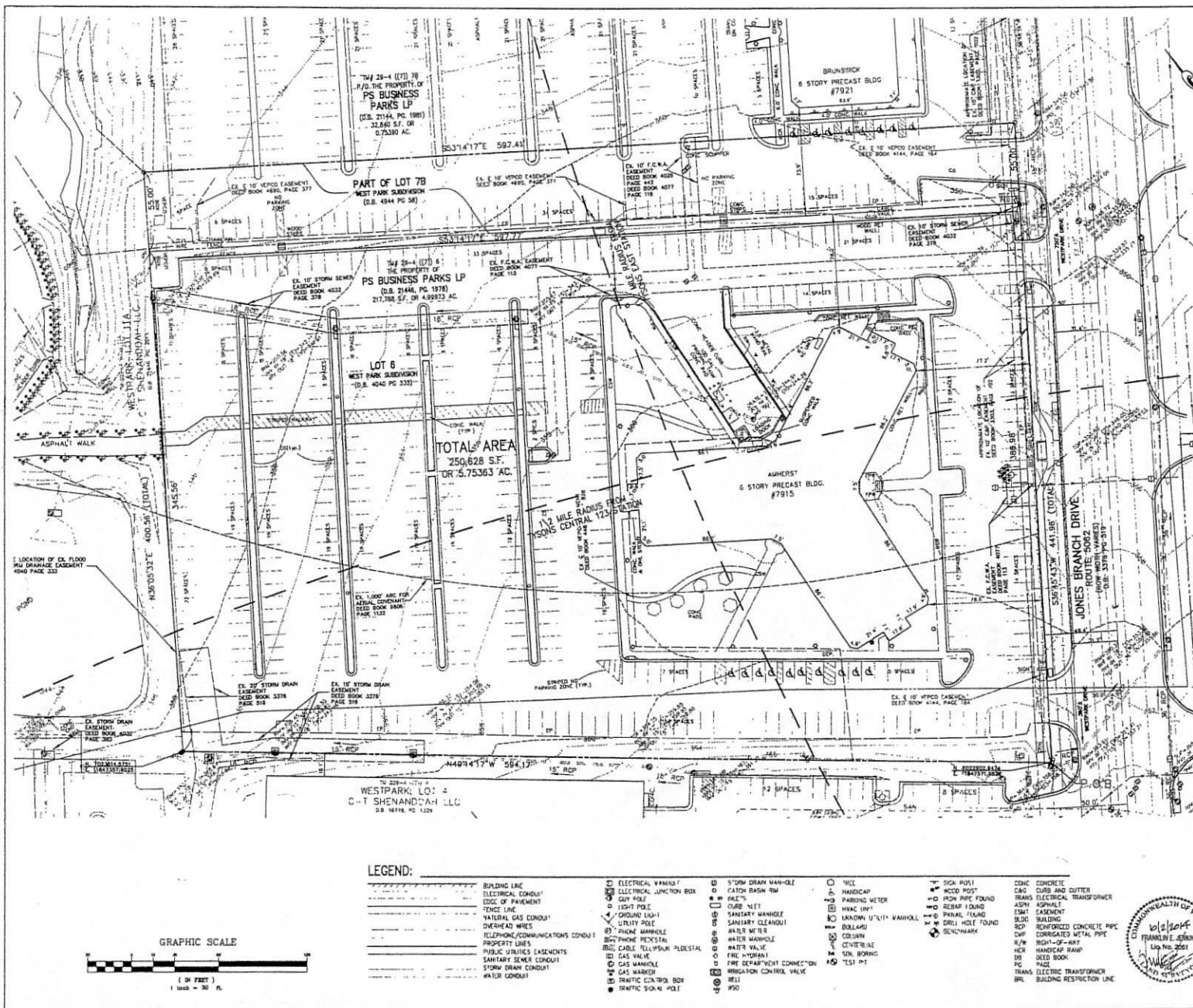
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7915 JONES BRANCH DRIVE
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

NOTES AND
TABULATIONS

VIKA REVISIONS

REV.	DATE	DESCRIPTION
REV.	10/02/14	
REV.	08/21/14	
REV.	07/16/14	
REV.	05/16/14	
REV.	02/03/14	
INITIAL	02/12/13	
DES.	RRC	DWL
SCALE:	AS SHOWN	
PROJECT/FILE NO.	VW1388F	
SHEET NO.	C-2A	



NOTES:

1. THE SUBJECT PROPERTIES SHOWN HEREON ARE IDENTIFIED AS FAIRFAX COUNTY TAX ASSESSMENT MAP #028-4-07-78 (ZONED C-3) AND PART OF 028-4-07-78 (ZONED C-3).
2. THE SUBJECT PROPERTIES SHOWN HEREON ARE LOCATED IN ZONE "X" (AREAS DETACHED TO BE OUTSIDE THE 0.375 MILE RADIUS FLOODPLAIN) AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY MAP NO. 5100000000 FOR FAIRFAX COUNTY, VIRGINIA, DATED SEPTEMBER 17, 2010. ZONE "X" IS (NOT) IDENTIFIED AS A SPECIAL FLOOD HAZARD ZONE AREA.
3. THE PROPERTIES SHOWN HEREON ARE THE PROPERTY OF PS BUSINESS PARKS LP, AS ACQUIRED IN DEED BOOK 3148 AT PAGE 1876 AND DEED BOOK 3144 AT PAGE 1881 ALL AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA.
4. THE HORIZONTAL DATUM IS REFERENCED TO VIRGINIA COORDINATE SYSTEM (NAD83) (2011) (VCS03) AND BASED ON A GPS SURVEY BY VIKI, VIRGINIA, LLC.
5. THE VERTICAL DATUM IS REFERENCED TO NAVD 28.
6. THE BOUNDARY INFORMATION SHOWN HEREON IS BASED ON A FIELD RUN BOUNDARY SURVEY PREPARED BY VIKI, VIRGINIA, LLC DATED JUNE 19, 2013.
7. TITLE REPORT PROVIDED BY RELIANT NATIONAL TITLE INSURANCE COMPANY, FILE NO. 18000193 WITH AN EFFECTIVE DATE OF MAY 05, 2013, (REVISION DATE MAY 23, 2013), AND FIDELITY NATIONAL INSURANCE COMPANY, REFERENCE NO. 18000193 WITH AN EFFECTIVE DATE OF JUNE 05, 2013 (REVISION DATED JUNE 11, 2013) HAVE BEEN INCORPORATED ONTO THIS CERTIFIED PLAN.

LEGAL DESCRIPTION:

BEING ALL OF THE LOT 6 (1) WESTPARK SUBDIVISION, AS RECORDED IN DEED BOOK 4040 AT PAGE 333 AND A PORTION OF LOT 7 (1) WESTPARK SUBDIVISION, AS RECORDED IN DEED BOOK 4040 AT PAGE 333, THENCE BEGINNING FROM SAID WESTERLY RIGHT-OF-WAY LINE OF JONES BRANCH DRIVE AND RUNNING WITH SAID COMMON LINE BETWEEN SAID LOT 6 AND SAID LOT 4.

1. NORTH 49°14'17" WEST, 594.17 FEET TO THE COMMON CORNER OF SAID LOT 6 AND WESTPARK SUBDIVISION (DEED BOOK 4040, PAGE 333) AND LOT 11A WESTPARK SUBDIVISION (DEED BOOK 4040, PAGE 333), THENCE BEGINNING FROM SAID WESTERLY RIGHT-OF-WAY LINE OF JONES BRANCH DRIVE AND RUNNING WITH SAID COMMON LINE BETWEEN SAID LOT 6 AND SAID LOT 4.

2. NORTH 30°03'32" EAST, 400.56 FEET TO A POINT ON THE COMMON LINE OF SAID LOT 7B AND SAID LOT 11A, THENCE LEAVING SAID COMMON LINE OF SAID LOT 7B AND LOT 11A AND RUNNING SO AS TO CROSS AND INCLUDE A PORTION OF SAID LOT 7B.

3. SOUTH 53°14'17" EAST, 594.17 FEET TO A POINT ON THE AFORESAID WESTERLY RIGHT-OF-WAY LINE OF JONES BRANCH DRIVE, THENCE RUNNING WITH SAID WESTERLY RIGHT-OF-WAY LINE OF JONES BRANCH DRIVE.

4. SOUTH 56°43'43" WEST, 441.85 FEET TO THE POINT OF BEGINNING CONTAINING 250,628 SQUARE FEET OR 5.75363 ACRES OF LAND.

AREA TABULATION:

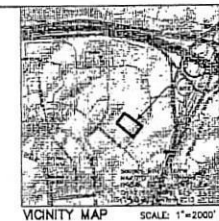
028-4-07-78 217,788 SQ. FT. OR 4.9973 ACRES
 TOTAL SITE AREA 217,788 SQ. FT. OR 4.9973 ACRES

ZONING TABULATION:

EXISTING ZONE C-3 250,628 SQ. FT. OR 5.75363 ACRES
 PROPOSED ZONE PFC 250,628 SQ. FT. OR 5.75363 ACRES

W.M.A.T. RADIUS TABULATION:

AREA WITHIN 1/2 MILE RADIUS (TYSONS CORNER STATION) 106,372 SQ. FT. OR 2.41197 ACRES
 AREA BETWEEN 1/2 MILE RADIUS (TYSONS CORNER STATION) 57,274 SQ. FT. OR 0.31481 ACRES
 TOTAL 163,646 SQ. FT. OR 3.72678 ACRES

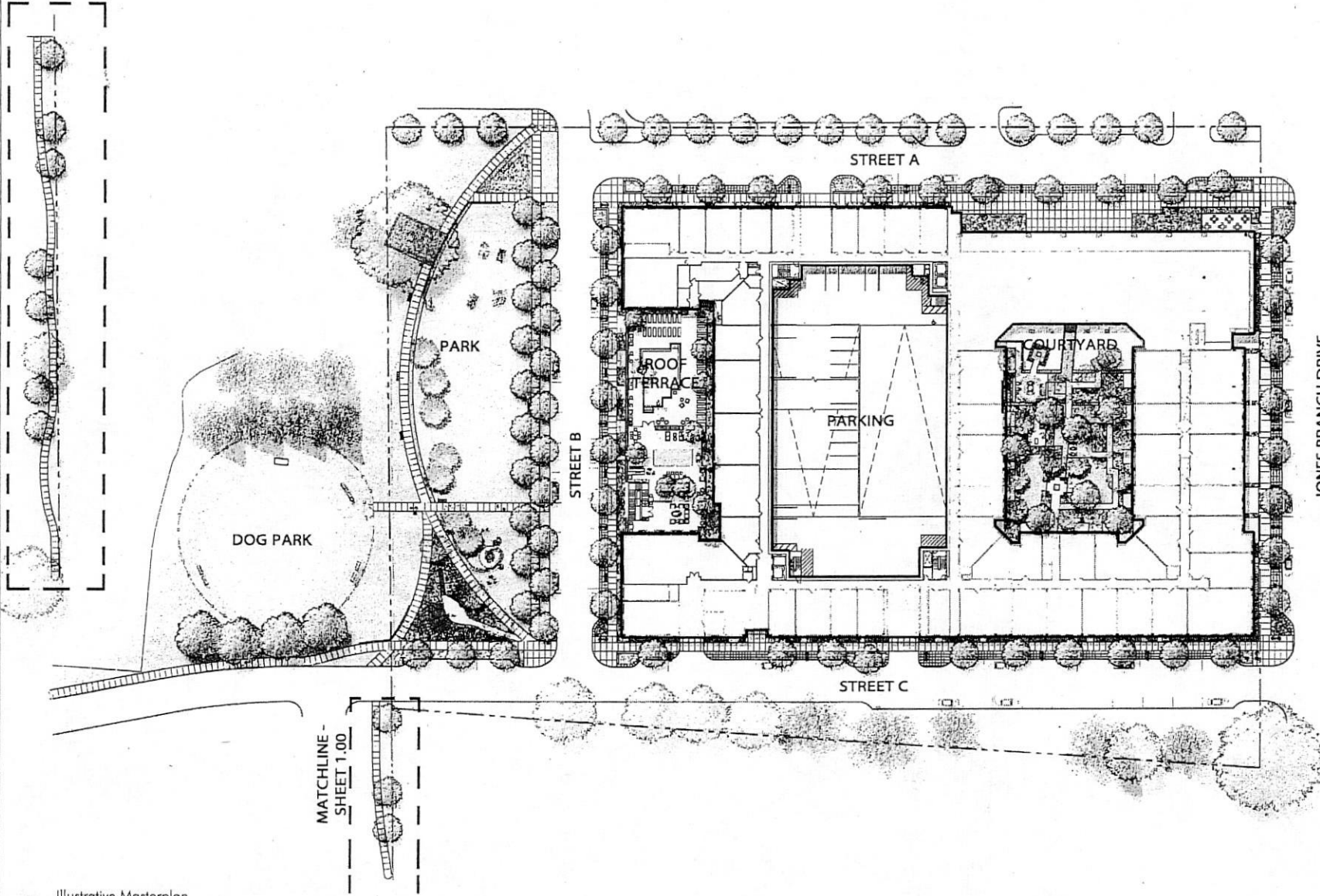


EXISTING CONDITIONS PLAN
 7915 JONES BRANCH DRIVE
 PROVIDENCE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

VIKA REVISIONS

REV.	DATE	BY	CHK.
REV. 10/2/2014	10/2/2014	W.M.A.T.	W.M.A.T.
REV. 8/27/2014	8/27/2014	W.M.A.T.	W.M.A.T.
REV. 7/16/2014	7/16/2014	W.M.A.T.	W.M.A.T.
REV. 5/16/2014	5/16/2014	W.M.A.T.	W.M.A.T.
REV. 3/2/2014	3/2/2014	W.M.A.T.	W.M.A.T.
DATE: 11/19/2013			
DES.	DWL		
FEJ	JMB		
SCALE:	1"=30'		
PROJECT/FILE NO.	1473586		
SHEET NO.	C-3		

MATCHLINE -
SHEET 1.00



JONES BRANCH DRIVE

01 Illustrative Masterplan
SCALE: 1"=30'-0"

7915 JONES
BRANCH
DRIVE

PROFESSIONAL DESIGN
PARKER RODRIGUEZ, INC.
A PROFESSIONAL LANDSCAPE ARCHITECTURE FIRM
101 N. 8th St., Suite 200
Tampa, FL 33604
813.241.1010



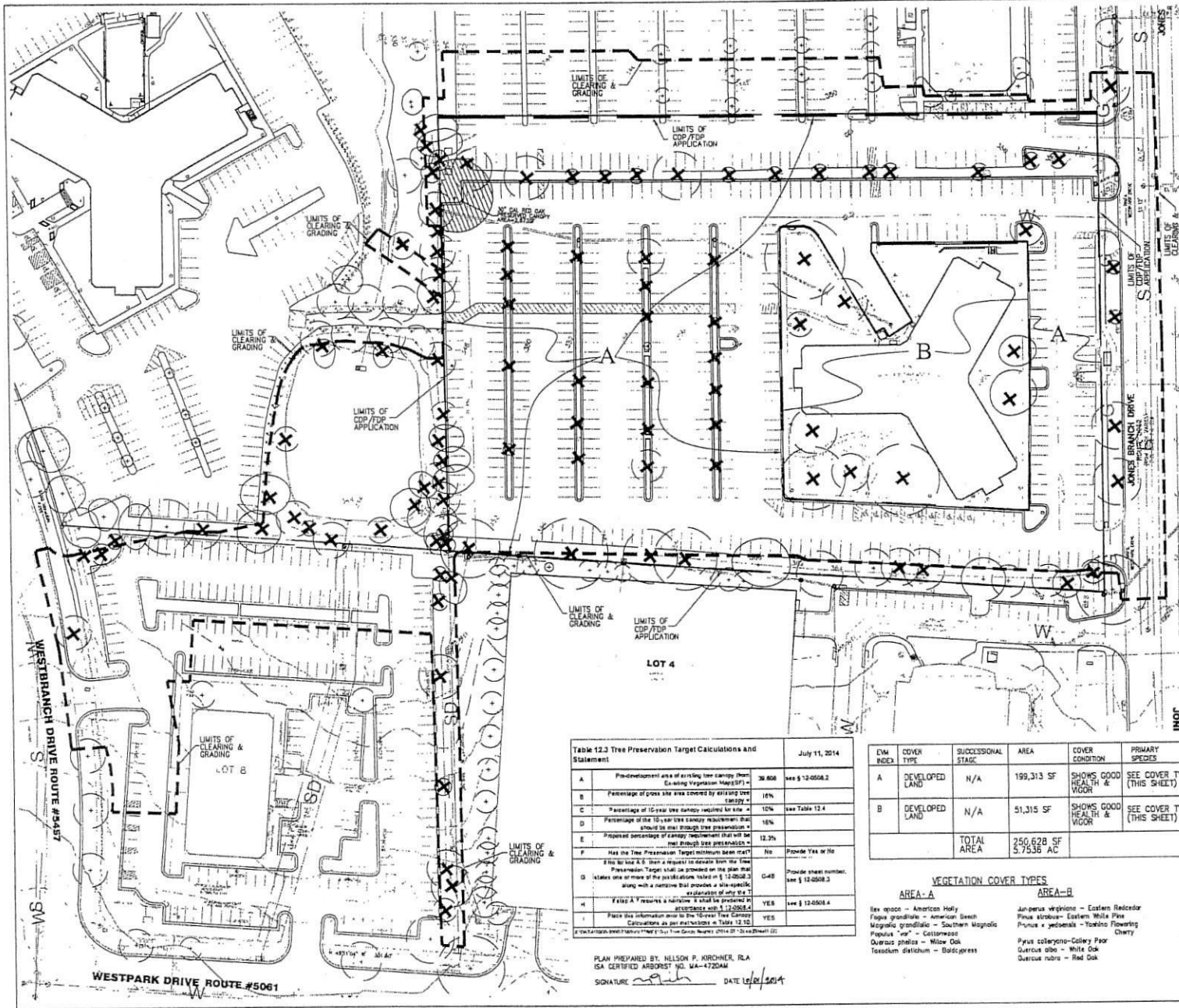
DATE: 10.02.2014
DRAWN BY: JRM
CHECKED BY: JRM
DESIGNED BY: JRM
SCALE: 1"=30'-0"

Illustrative
Landscape
Masterplan

CDP/ FDP SUBMISSION - 10.02.2014

DRAWING DATE: 10.02.2014
DESIGNED BY: JRM
CHECKED BY: JRM
SCALE: 1"=30'-0"

L1.00



- LEGEND**
- EXISTING TREE WITHIN APPLICATION AREA TO BE PRESERVED WITH CREDIT TOWARDS PROPOSED CANOPY COVERAGE
 - EXISTING TREE TO BE PRESERVED WITH NO CREDIT TOWARDS PROPOSED CANOPY COVERAGE
 - EXISTING TREE TO BE REMOVED

EXISTING CANOPY DATA

TOTAL PRE-DEVELOPED EXISTING CANOPY WITHIN APPLICATION AREA: 39,608 SF.

TOTAL POST-DEVELOPED EXISTING CANOPY WITHIN APPLICATION AREA TO BE PRESERVED: 2,673 SF.

- NOTES**
- FOR PFM TABLE 12.10 TABULAR LANDSCAPE DATA SEE LANDSCAPE PLAN SHEET L-0.00.
 - FOR OVERALL CONCEPTUAL / FINAL DEVELOPMENT PLAN SEE SHEETS C-05 AND L-0.00.
 - DETAILED TREE PRESERVATION MEASURES HAVE BEEN DESIGNED FOR THE EXISTING 30" CALIPER RED OAK LOCATED AT THE NORTHWEST CORNER OF THE SITE. FOR PRESERVATION DETAILS SEE SHEETS C-4A AND C-4B.

ENV NARRATIVE

THE SUBJECT SITE HAS BEEN DEVELOPED WITH ONE EXISTING 400-RUE OFFICE BUILDING, FOR THE DEVELOPMENT ACCORDS TO THE BUILDING FOOT PRINT AREA AND SURROUNDING LANDSCAPED AREA. THE EXISTING SIDE OF THE SITE AREA IS ASPHALT PARKING LOT COMPRISED WITH LANDSCAPED PLANTINGS THROUGH THE PARKING AREA AND THE PERIMETER OF THE BUILDING. THE DEVELOPMENT APPEARS TO HAVE THE PLANT MATERIAL IS PREVIOUSLY PLANTED AND SUB-MATURE VEGETATION. THE GENERAL HEALTH AND CONDITION OF THIS VEGETATION IS GOOD AND GENERALLY SHOWS GOOD GROWTH AND VITALITY. WITH THIS APPLICATION THE PROPOSED BUILDING WILL BE PLACED THIS SITE IS SPECIFIED FOR SIGNIFICANT REDEVELOPMENT WHERE THE EXISTING BUILDING, SURFACE PARKING AND LANDSCAPING WILL BE REMOVED AND REDEVELOPED WITH LANDSCAPED WITH VARIOUS COMPONENTS.

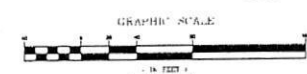
Table 12.3 Tree Preservation Target Calculations and Statement

Statement	Value	Reference
A. Predevelopment area of existing tree canopy (from Existing Vegetation Map) =	39,608	see § 12-0508.2
B. Percentage of gross site area covered by existing tree canopy =	16%	see Table 12.4
C. Percentage of 10-year tree canopy required for site =	12%	see Table 12.4
D. Percentage of the 10-year tree canopy requirement that should be met through tree preservation =	16%	see Table 12.4
E. Proposed percentage of canopy requirement that will be met through tree preservation =	12.3%	see Table 12.4
F. Has the Tree Preservation Target minimum been met?	No	Provide Yes or No
G. If the Tree Preservation Target minimum has not been met, a request is made from the Tree Preservation Target shall be provided on the plan that states one or more of the justifications listed in § 12-0508.2 along with a narrative that provides a site-specific justification of why the Tree Preservation Target minimum has not been met.	See § 12-0508.3	Provide sheet number, see § 12-0508.3
H. Will the Tree Preservation Target minimum be met?	Yes	see § 12-0508.4
I. Place the information into the "Forest Tree Canopy Calculations as per instructions in Table 12.10	Yes	see § 12-0508.4

PLAN PREPARED BY: NELSON P. KIRCHNER, RLA
ISA CERTIFIED ARBORIST NO. WA-47204A
SIGNATURE: DATE: 10/2/2014

CDM INDEX	COVER TYPE	SUCCESSIONAL STAGE	AREA	COVER CONDITION	PRIMARY SPECIES	COMMENTS
A	DEVELOPED LAND	N/A	199,313 SF	SHOWS GOOD HEALTH & VIGOR	SEE COVER TYPE (THIS SHEET)	DEVELOPED OFFICE BUILDING, FOUNDATION PLANTING & MATURE TREE LANDSCAPING.
B	DEVELOPED LAND	N/A	51,315 SF	SHOWS GOOD HEALTH & VIGOR	SEE COVER TYPE (THIS SHEET)	DEVELOPED PARKING COMPOUND WITH INTERIOR & PERIPHERAL PARKING LOT LANDSCAPING.
	TOTAL AREA		250,628 SF 5,7936 AC			

- VEGETATION COVER TYPES**
- AREA-A**
- Betula sp. - American Holly
 - Fagus grandifolia - American Beech
 - Magnolia grandifolia - Southern Magnolia
 - Populus sp. - Cottonwood
 - Quercus phellos - Willow Oak
 - Taxodium distichum - Baldcypress
- AREA-B**
- Acer sp. - American Elm
 - Pinus strobus - Eastern White Pine
 - Prunus x yedoensis - Yoshino Flowering Cherry
 - Pyrus calleryana - Callery Pear
 - Quercus alba - White Oak
 - Quercus rubra - Red Oak



VIFA

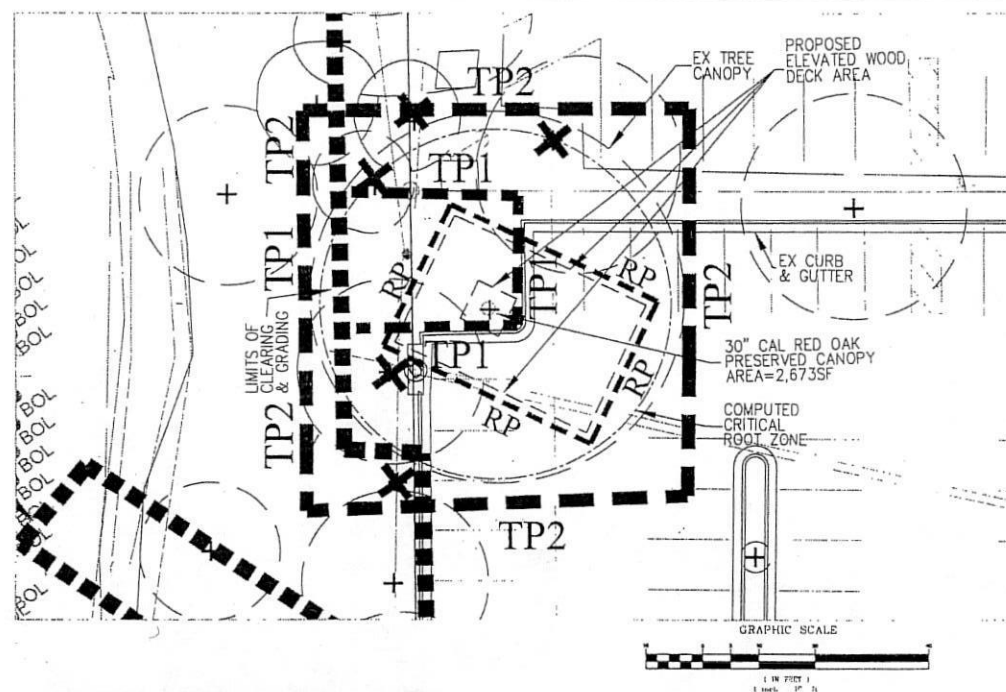
7915 JONES BRANCH DRIVE
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

EXISTING VEGETATION MAP

VIFA REVISIONS

REV.	DATE	DESCRIPTION
REV. 10/02/14		
REV. 06/21/14		
REV. 07/16/14		
REV. 08/18/14		
REV. 02/03/14		
INITIAL SUB. 12/16/13		

DES. NPK DPK
SCALE: 1"=40'
PROJECT/FILE NO. VV73887
SHEET NO. C-4



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July 11, 2014

Mr. Keith Cline, Director UPMO
Forest Conservation Branch, DPWES
Department of Public Works and Environmental Services
Land Development Services, Urban Forest Management Division
12055 Government Center Parkway, Suite 518
Fairfax, Virginia 22035-5003

RE: Amburdt at Woodpark
Conceptual Development Plan (CDP)
Tree Preservation Target Development Request
VDA No. VV7384F

Dear Mr. Knappe:

This letter is to request a deviation to the Tree Preservation Target (TPP) requirements for the above referenced site. In June 22, 2010 the Fairfax County Board of Supervisors adopted the new zoning ordinance for Tysons Corner, the PTC District, Planned Tysons Corner Urban District. The above referenced site, Tysons Center, is located in that PTC District and is associated with the existing Conceptual Development Plan (CDP) number 122-0011-PB-003. This deviation is requested on whole and is based under the following two schedule deviation conditions as outlined in the Fairfax County Public Facilities Manual (PFM). They are as follows:

12-0508.3A(1) - where existing the Tree Preservation Target would preclude the development of uses or structures otherwise allowed by the Zoning Ordinance.

12-0508.3A(3) - where preservation activities could be reasonably expected to impact existing uses or structures used to meet the Tree Preservation Target in the future. These would not likely survive in a healthy and structurally sound manner if a minimum of 10 years in association with the post-development standards for trees and forested areas provided in PFM 12-0410 and 12-0454.

The total existing on-site canopy is 39,608 SF. The existing vegetation appears to have been planted with the development of the subject site. A significant portion of the site will be redeveloped. The redevelopment will include major renovation of the utility infrastructure, the street grid, as well as a variety of urban components such as building types and uses, active and passive recreation and improvements associated with the entire development.

The basis for this deviation is warranted as a result of the site engineering necessary within this portion of the Tysons Corner Urban Center redesign. This site has a 10% canopy requirement. With the redevelopment of this site the TPP vegetation requirements remain to be fulfilled.

It is hereby requested here that UPMO deem the outlined TPP conditions, and the provided landscape design, will hereby provide and establish the 10-year canopy requirements. Please refer to the concept landscape planning plans for the landscape design, tabulations and computations prepared with this submission.

Thank you for your time and attention and should you have any questions or need additional information, please do not hesitate to contact our office.

VRA, Inc.
11010 Government Center, Suite 200 • Fairfax, Virginia 22035 • P.O. Box 402800 • Fairfax, VA 22041-7800
Tel: 703.441.1100 • Fax: 703.441.1101 • www.vra.com

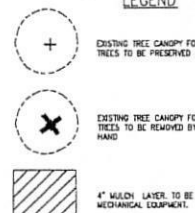
W. Keith Cline, Director UPMO
Forest Conservation Branch, DPWES
RE: Amburdt at Woodpark
Concept / Final Development Plan (CDP / FPM)
Target Development Request
VDA No. VV7384F
July 11, 2014
Page 2 of 2

Sincerely,
VRA, Inc.

Nelson P. Kirchner, RLA
Landscape Architect/ISA Certified Arborist
Associate

NPW/rpk
cc: Todd Nelson, Urban Forester II, Fairfax County UPMO
* Project: 122-0011-PB-003 (CDP) - Tree Preservation Target Development Request

LEGEND



TP1
TP2
RP
DENOTES LOCATION OF PHASE 1 TREE PROTECTION FENCE
DENOTES LOCATION OF PHASE 2 TREE PROTECTION FENCE
DENOTES ROOT PRUNING AND SUPER SILT FENCE

TREE PRESERVATION NARRATIVE

PHASE No. 1
PRIOR TO ANY CONSTRUCTION ACTIVITIES THE TREE PRESERVATION ZONES FOR THE EXISTING 30" RED OAK SHALL BE INSTALLED. NO TRACKED OR WHEELED CONSTRUCTION EQUIPMENT SHALL BE ALLOWED WITHIN THE NOTED CRITICAL ROOT ZONE (CRZ). THE INITIAL PRESERVATION MEASURE TO INSTALL SHALL BE THE TRUNK WRAP PROTECTION. SEE SHEET C-4B FOR DETAILS. FOLLOWING THE TRUNK WRAP INSTALLATION THE PHASE 1 TREE PROTECTION FENCE (TP1) SHALL BE INSTALLED. TP1 FENCING TO BE SIX (6) FEET HIGH CHAIN LINK FENCE, AS SHOWN ON THIS PLAN SHEET, BEHIND THE BACK OF EXISTING CURB & GUTTER. PRIOR TO EXISTING CURB/GUTTER REMOVAL CONTRACTOR SHALL AIR SPADE A 6" WIDE AREA DIRECTLY BEHIND THE EXISTING CURB/GUTTER TO EXPOSE AND SEPARATE ANY EXISTING ROOT HAZARD FROM DIRECTLY BEHIND THE CONCRETE CURB AND GUTTER SECTION. ANY ROOTS FOUND TO BE EXPOSED OR ATTACHED TO THE EXISTING CURB & GUTTER SHALL BE ROOT PRUNED. INSTALLATION OF TP1 SHALL BE INSTALLED AT AN OFFSET DISTANCE OF ONE (1) FOOT FROM THE BACK OF CURB TO PROVIDE AREA FOR THE CONTRACTOR COMPLETE THE CURB AND GUTTER REMOVAL.

WITH THE TP1 PROTECTION IN PLACE AND THE AIR SPADE ROOT EXPOSURE / PRUNING COMPLETE THE CONTRACTOR SHALL PROCEED TO REMOVE THE EXISTING CURB AND GUTTER AND ASPHALT AT THE SOUTHEAST AREA OF THE RED OAK. THE CURB & GUTTER AND ASPHALT REMOVAL SHALL BE COMPLETED SUCH THAT THE MATERIAL WILL BE PAILED CONSIDERABLY AWAY FROM THE CENTER OF THE TREE. THIS PROCESS SHALL BE EXECUTED SUCH THAT MECHANICAL OR TRACKED EQUIPMENT SHALL NOT ENDOURGE WITHIN THE AREA WHERE SOIL HAS BEEN EXPOSED. IF BUCKET EQUIPMENT IS USED FOR PAVEMENT REMOVAL, THE PAVEMENT MATERIAL SHALL BE CUT AND "PAILED" AWAY FROM THE CENTER TRUNK AREAS OF THE SUBJECT TREE. NO SUBGRADE SHALL BE DISTURBED AND AT NO TIME SHALL ANY CONSTRUCTION EQUIPMENT ENTER IN THAT AREA WHERE ASPHALT AND / OR CURB AND GUTTER HAVE BEEN REMOVED. THEREAFTER PROHIBITING SOIL COMPACTION FROM OCCURRING WITHIN THE CRZ OF THE SUBJECT TREE. PORTIONS OF THE EXPOSED AND BROWN PAVEMENT MAY REQUIRE REMOVAL OF SAND MATERIAL BY HAND RAKING AND SHOVEL/WHEELBARROW.

TO ASSIST IN CURB/GUTTER REMOVAL AND PRIOR TO CURB/GUTTER REMOVAL, THE CONTRACTOR SHALL SAW OUT 12" SECTIONS OF THAT CURB/GUTTER TO BE REMOVED. ADDITIONALLY, TO ASSIST IN REMOVAL OF EXISTING ASPHALT AND PRIOR TO ASPHALT REMOVAL, THE CONTRACTOR SHALL OFFSET AN ALIGNMENT OF 10" FROM THE EXISTING CURB/GUTTER. ALONG THAT ALIGNMENT THE CONTRACTOR SHALL SAW OUT THE EXISTING ASPHALT AND THEN PROCEED WITH THE REMOVAL OF EXISTING ASPHALT AS OUTLINED ABOVE. AT NO TIME SHALL TRACKED OR WHEELED EQUIPMENT ENDOURGE INTO THAT AREA WHERE ASPHALT HAS BEEN REMOVED.

UPON COMPLETION OF THE REMOVAL OF ALL THE PAVEMENT MATERIAL AND WHILE THE SUBGRADE IS EXPOSED, THE ROOT PRUNING MAY PROCEED AS SPECIFIED. LARGER ROOTS MAY REQUIRE HAND DIGGING A TRENCH AND CUTTING EXPOSED ROOTS WITH A SAW. NARROWING A TRENCH, SAW, NARROW TRENCHER WITH SHARP BLADES, OR OTHER APPROVED ROOT PRUNING EQUIPMENT. PRUNED ROOTS SHALL BE PROMPTLY BACKFILLED WITH SOIL.

SUBSEQUENT TO ASPHALT AND CURB/GUTTER REMOVAL, THE CONTRACTOR SHALL APPLY A 4" LAYER APPLICATION OF ORGANIC MATERIAL WITHIN THE CRITICAL ROOT ZONE (CRZ), FOLLOWED BY A 1" APPLICATION OF SHREDDED MULCH.

WHEN ALL ROOT PRUNING ACTIVITIES HAVE BEEN COMPLETED THE PHASE ONE TREE PROTECTION FENCING SHALL BE RELOCATED TO THE LOCATION WHERE THE PHASE TWO TREE PROTECTION IS SHOWN (TP2) AND SPECIFIED ON THIS PLAN. TREE PRESERVATION SIGNAGE (SEE SHEET C-4B) SHALL BE LOCATED AND ATTACHED TO THE TP FENCING AT 30" ON-CENTER. ALL PHASE TWO TREE PROTECTION FENCING SHALL REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION.

PHASE No. 2
PRIOR TO PROCEEDING WITH DECK CONSTRUCTION THE DESIGNATED AUGER PILING LOCATIONS SHALL BE STAKED OUT IN THE FIELD. PRIOR TO AUGER PILING INSTALLATION AND AFTER AUGER PILING LOCATIONS HAVE BEEN STAKED OUT, AIR SPADE EQUIPMENT SHALL BE BROUGHT ON-SITE TO DETERMINE IF THERE ARE ANY ROOTS/ROOTS COMPLETES AND TO EXPOSE THOSE ROOTS THAT MAY BE IN CONFLICT WITH THE INSTALLATION OF THE AUGER PILES. IF ANY ROOT ZONE TANGLES OR INDIVIDUAL ROOTS ARE ENCOUNTERED AT THE AUGER PILING LOCATIONS, HAND ROOT PRUNING MAY BE REQUIRED AND / OR RELOCATION OF THE AUGER PILING LOCATION. UPMO WILL BE NOTIFIED 48-HOURS IN ADVANCE OF AIR SPADE EXCAVATION TO ALLOW AN OPPORTUNITY TO BE ON-SITE AS THAT PROCESS PROCEEDS. AT NO TIME SHALL TRACKED OR WHEELED CONSTRUCTION EQUIPMENT ENTER INTO THE TREE PROTECTION / CRZ AREA.

THE CONTRACTOR SHALL ESTABLISH A DEBRIS REMOVAL PROCESS TO ASSURE THAT WITH THE REMOVAL OF DEBRIS NO CONSTRUCTION VEHICLES SHALL ENDOURGE INTO THAT AREA WHERE CURB & GUTTER AND ASPHALT HAVE BEEN REMOVED AND UNDISTURBED SOIL EXPOSED WITHIN THE AREA OF THE EXISTING TREE CRZ.

TREE PROTECTION SHALL REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION. ALL DEMOLITION AND CONSTRUCTION ASSOCIATED WITH THE NEW DECK TO BE PERFORMED UNDER DIRECT SUPERVISION OF THE PROJECT ARBORIST. FOR ADDITIONAL TREE PRESERVATION NOTES SEE SHEET C-4B.

NOTES
1. THIS PLAN IS FOR EXISTING TREE PRESERVATION ONLY.
2. TREE PROTECTION FENCING SHALL BE FOUR (4) FEET HIGH WITH FOURTEEN (14) GAUGE WELDED WIRE ATTACHED TO SIX (6) FOOT STEEL POSTS SPACED EIGHTEEN (18) INCHES INTO THE GROUND AND PLACED NO FARTHER THAN TEN (10) FEET APART.

PLAN PREPARED BY: NELSON P. KIRCHNER, RLA
ISA CERTIFIED ARBORIST NO. WA-4720AM
SIGNATURE: [Signature] DATE: 7/11/2014

VIRA REVISIONS	
REV	DATE
REV 10/02/14	
REV 08/21/14	
REV 07/18/14	
REV 05/16/14	
REV 02/03/14	
INITIAL SUB	12/18/13
DES.	DMN
CHK.	NPW
SCALE:	1"=30'
PROJECT/FILE NO.	VV7384F
SHEET NO.	C-4A

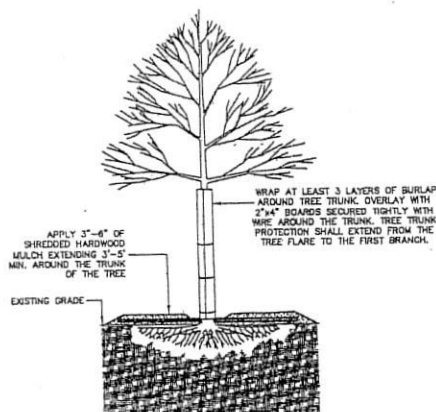
VIRA
7915 JONES BRANCH DRIVE
FAIRFAX COUNTY, VIRGINIA 22035
VIRGINIA LANDSCAPE ARCHITECTS & SURVEYORS • LICENSED DESIGN
VIRA VIRGINIA, LLC
8010 GREENWOOD DRIVE, SUITE 200 • FREDERICKSBURG, VIRGINIA 22402
(703) 442-7800 • FAX (703) 442-7801
WWW.VIRA.VA.GOV



EXISTING TREE TRUNK PROTECTION EXHIBIT

1
4B

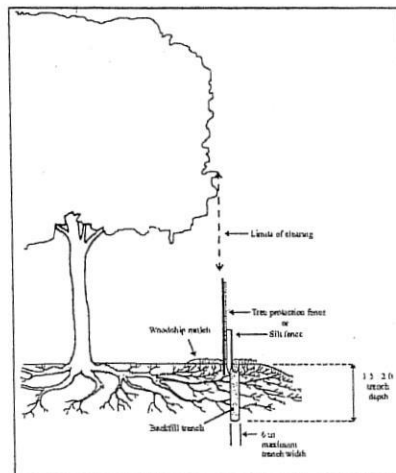
NOT TO SCALE



EXISTING TREE TRUNK PROTECTION DETAIL

2
4B

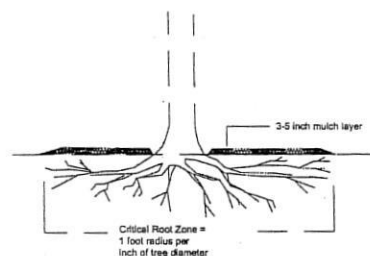
NOT TO SCALE



ROOT PRUNE DETAIL

3
4B

NOT TO SCALE



CRITICAL ROOT ZONE PRESERVATION DETAIL

3
4B

NOT TO SCALE

- Spread mulch by hand to a uniform thickness of 3-5 inches
- Mulch shall cover as much of the entire critical root zone as possible
- Mulch shall consist of a woody material that has been chipped or shredded or other approved material
- Mulch shall not touch the base of the tree

TREE PRESERVATION AREA

KEEP OUT

NO EQUIPMENT OR MATERIALS ARE TO BE STORED OR DEPOSITED IN THIS AREA

(COMPANY NAMES AND CONTACT NUMBERS)

PENALTY FOR VIOLATIONS STRICTLY ENFORCED

SPECIFICATIONS:

- DIMENSIONS: WIDTH: 11 INCHES MINIMUM
HEIGHT: 8 INCHES MINIMUM
- BACKGROUND COLOR: YELLOW
- LETTER SIZE: LARGE: 48 INCHES MINIMUM
SMALL: 28 INCHES MINIMUM

4 TREE PRESERVATION SIGNAGE DETAIL

4B

NOT TO SCALE

7915 Jones Branch Drive
Tree Preserve Measures

After survey stakeout of the limits of disturbance/tree protection fence all measures will be reviewed on-site with the owner, project arborist (PA) and contract arborist (CA). The tree preservation measures (TPM) to be installed will be approved by the owner and Fairfax County UFWD.

The Contract Arborist is responsible for understanding the standards and requirements contained within this section prior to the commencement of any tree preservation work within the area of the subject tree.

Substitutions or alternative methods or materials shall be reviewed and approved only by the owner, UFWD, Site Inspector and Project Arborist.

All tree protection measures must be in place prior to commencement of demolition, existing tree removal, site clearing and shall be maintained through construction

Tree Protection Fence (TPF)

TPF shall be 4' high, 14 gauge welded wire fence material attached to 6ft steel "T" posts spaced not more than 10' apart. Tree protection construction signage shall be located at the tree protection fence at a 30ft spacing. See sheet C-4B. Where root pruning is specified, TPF shall be installed after root pruning and prior to any clearing and grading. As required, any installation of silt fence within the area of the subject tree shall be coordinated with PA for installation to enhance protection and avoid unnecessary root cuts by silt fence installation. TPF shall remain in place for the duration of construction and may only be removed after all construction is complete and / or with Fairfax County Site Inspector and / or UFWD approval.

Wood Chip Mulch

Install a mulch bed as specified for subject red oak tree. Mulch bed to provide a continuous mulch strip within preserved CRZ area of a minimum of 10ft wide along LOD and / or as specified in this plan. See sheet C-4. Mulch shall be installed to a depth of at least 3" to 4". Mulch shall be placed by hand without the use of wheeled or tracked machinery. Mulch shall not be placed more than ten feet beyond the LOD and shall not be placed at a depth of no more than four inches. Mulch shall not contact the trunk base / root crown of the tree. Edging is neither necessary nor desirable for this application.

Root Prune

Root pruning is specified at and around the perimeter of where the new proposed deck area will align. See sheet C-4A. The location and depth of root pruning shall be as specified per Fairfax County PFM and as detailed on sheet C-4B. Means and methods will be determined by Contract Arborist and based on site considerations and tree impact.

Roots over 1.5" diameter within CRZs of subject red oak tree shall be hand pruned. Deep excavations and pavement/curb removal will be reviewed when roots are exposed and hand root pruning methods determined during construction. Prime contractor and contract arborist to coordinate with any super silt fence installation to minimize unnecessary root damage to the 30" red oak.

Trunk Protection Wrap

The existing 30" red oak tree trunk in close proximity to construction shall be protected. If the tree may be in danger of being damaged by construction equipment or other activity, the contract arborist shall protect the tree with a minimum of 3-layers of burlap wrap around the tree trunk with 2"x4" lumber encircling the trunk and secured tightly with wire around the trunk and shall not damage the tree trunk. The material shall not be in contact with the trunk. Tree trunk protection shall extend from the tree root crown flare to the first branch. However, wrap shall not be less than 12' high on trunk or up to the lowest limb (whichever is less). Root flare shall also be fully covered. Wrap shall be removed promptly after construction. See details this sheet.

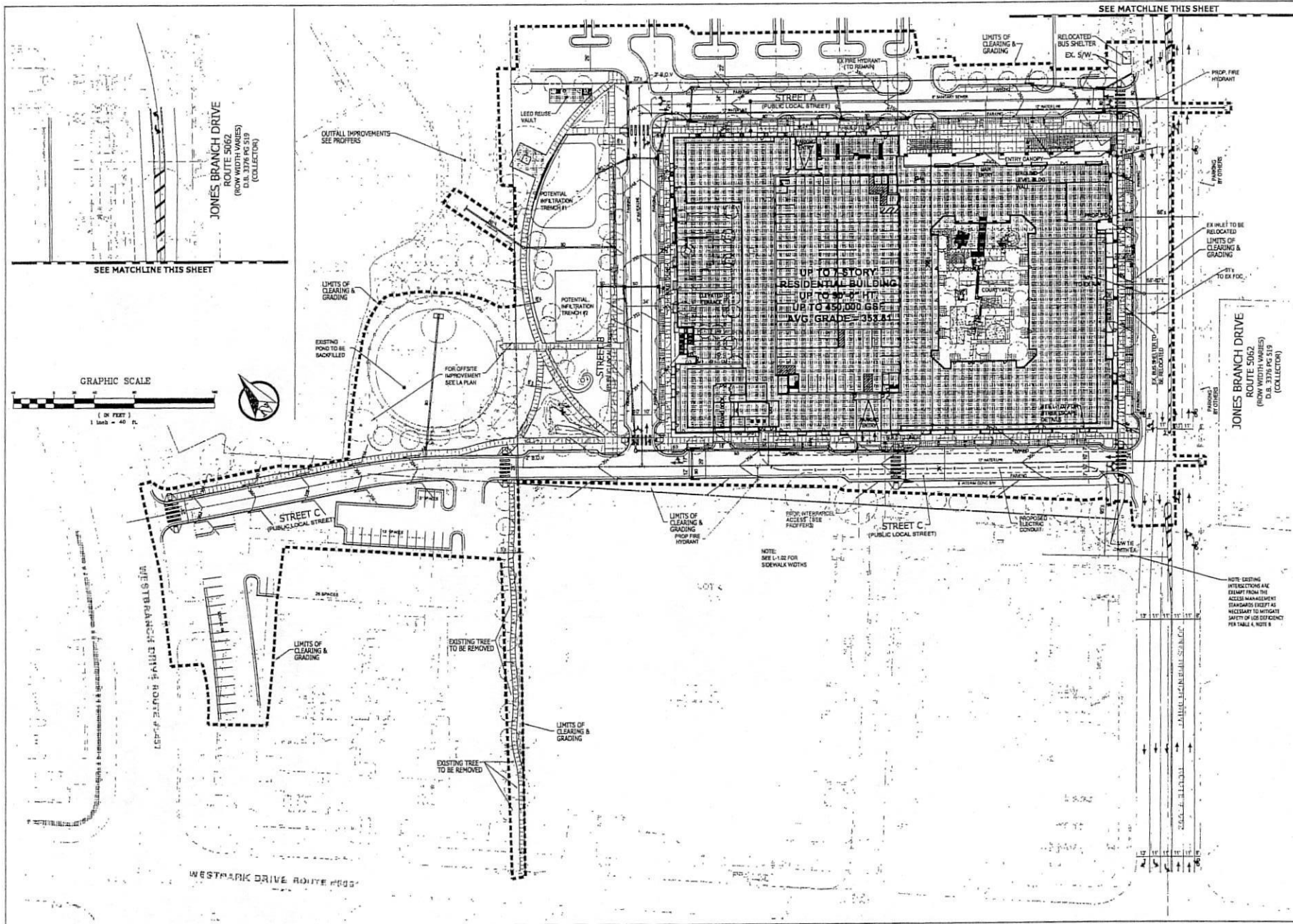


PLAN PREPARED BY: NELSON P. KROENIG, RLA
ISA CERTIFIED ARBORIST NO. MA-4720AM

SIGNATURE: *[Signature]* DATE: 12/12/2014

VKA REVISIONS

REV	DATE	BY	CHK	APP
REV	10/22/14			
REV	08/21/14			
REV	07/16/14			
REV	05/16/14			
REV	02/03/14			
INITIAL SUB	12/16/13			
DES.	CHK	DWN.	CHK	
SCALE:	1"=30'			
PROJECT/FILE NO.	VV7388F			
SHEET NO.	C-4B			



VIA REVISIONS

REV.	DATE	DESCRIPTION
REV. 10/02/14		
REV. 08/21/14		
REV. 07/16/14		
REV. 05/16/14		
REV. 02/03/14		
INITIAL	08/12/13	
DES.		
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SHEET NO.	C-5	



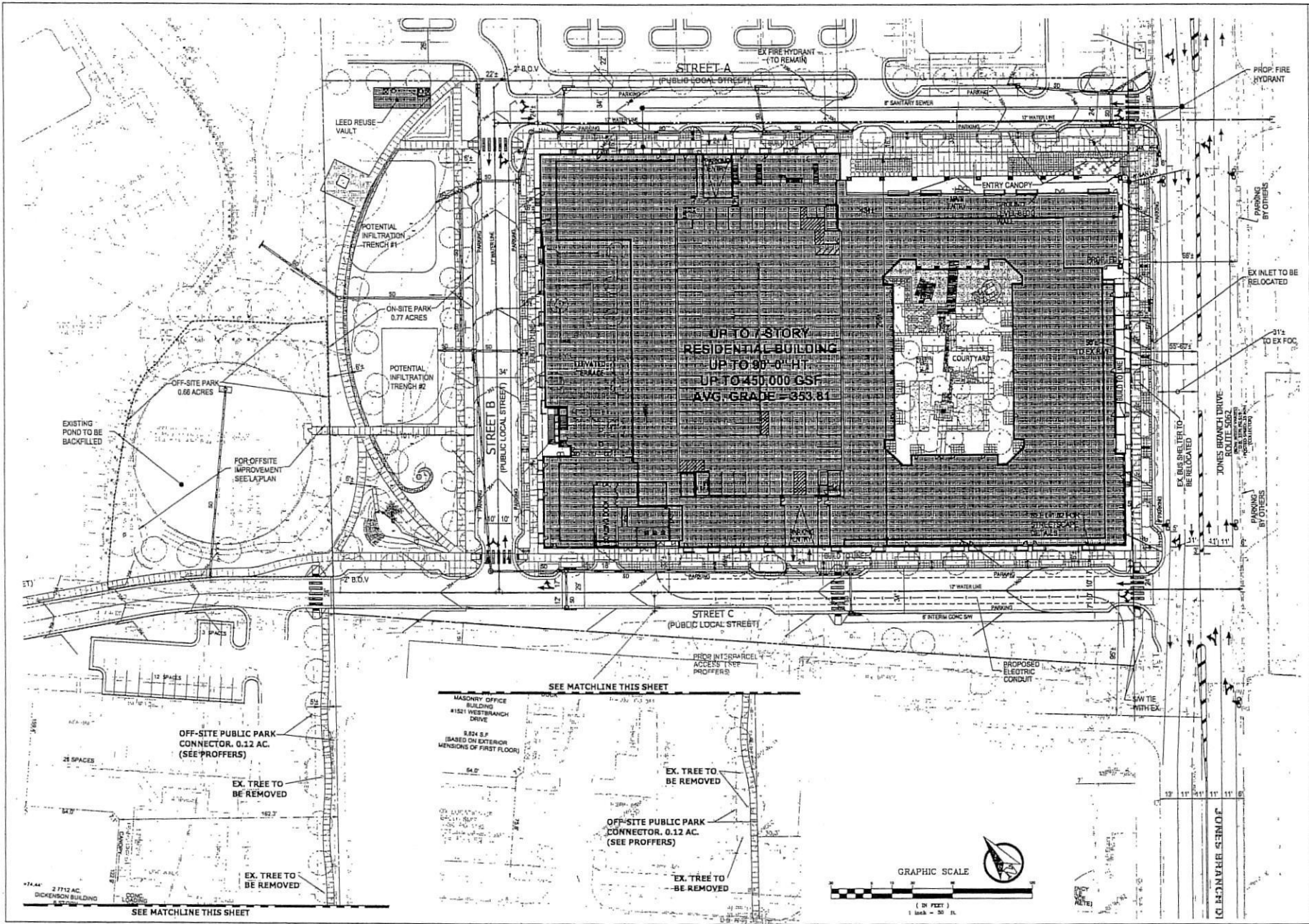
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VIKA ARCHITECTS & LANDSCAPE ARCHITECTS & LANDSCAPE ARCHITECTS
1000 N. GLENN ST. SUITE 200
DALLAS, TEXAS 75202
TEL: 214-750-1100 FAX: 214-750-1101
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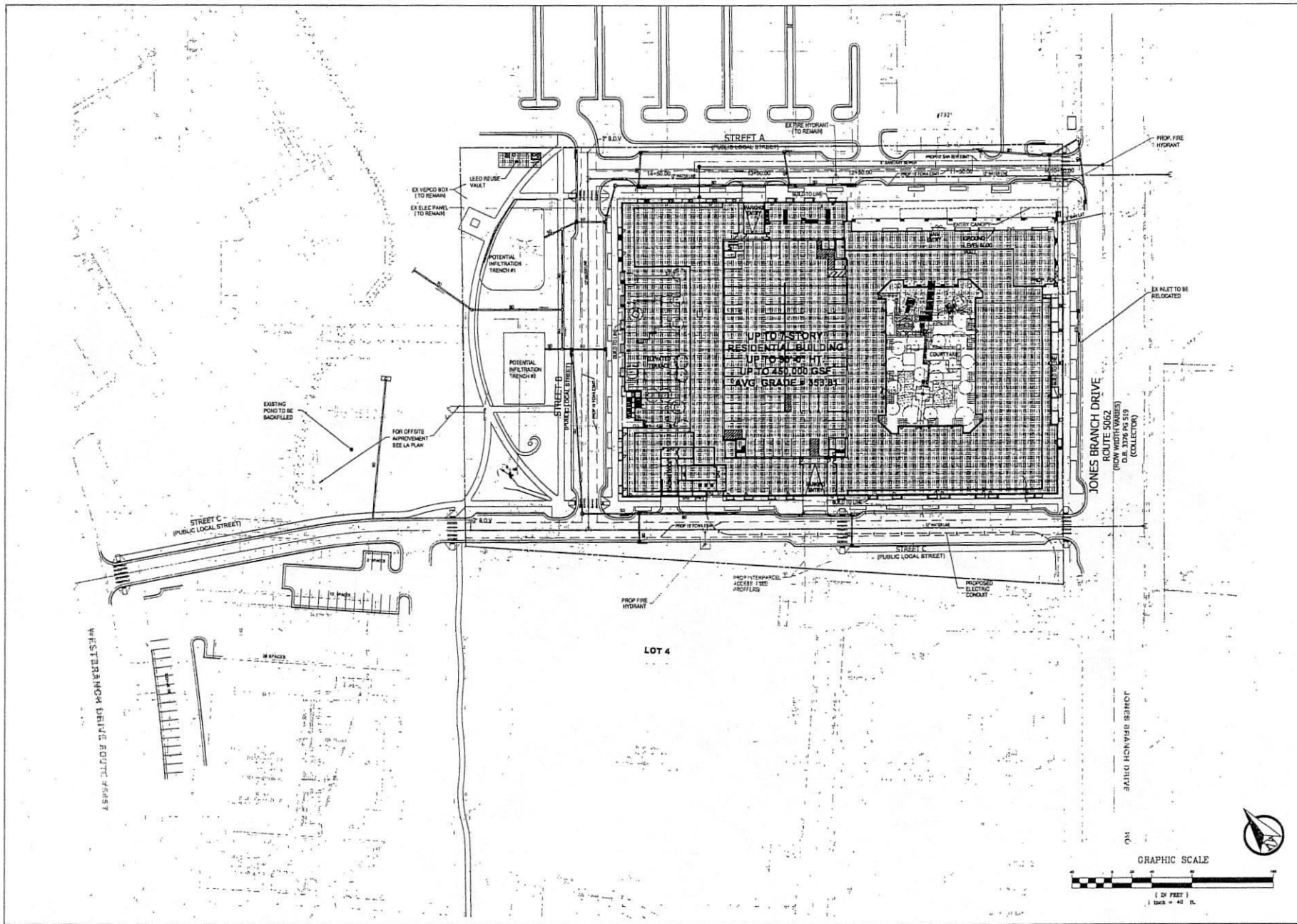
7915 JONES BRANCH
DRIVE
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

CONCEPTUAL/FINAL
DEVELOPMENT PLAN

VIKA REVISIONS

REV. 10/22/14
REV. 08/21/14
REV. 07/16/14
REV. 05/15/14
REV. 05/03/14
INITIAL SUB. 12/18/13
DES.
DRAWN
CHECKED
SCALE: 1"=30'
PROJECT/FILE NO. W7388F
SHEET NO. C-6





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**PRELIMINARY PROPOSED
UTILITY LAYOUT**

**7915 JONES BRANCH
DRIVE**

PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

VIFA REVISIONS

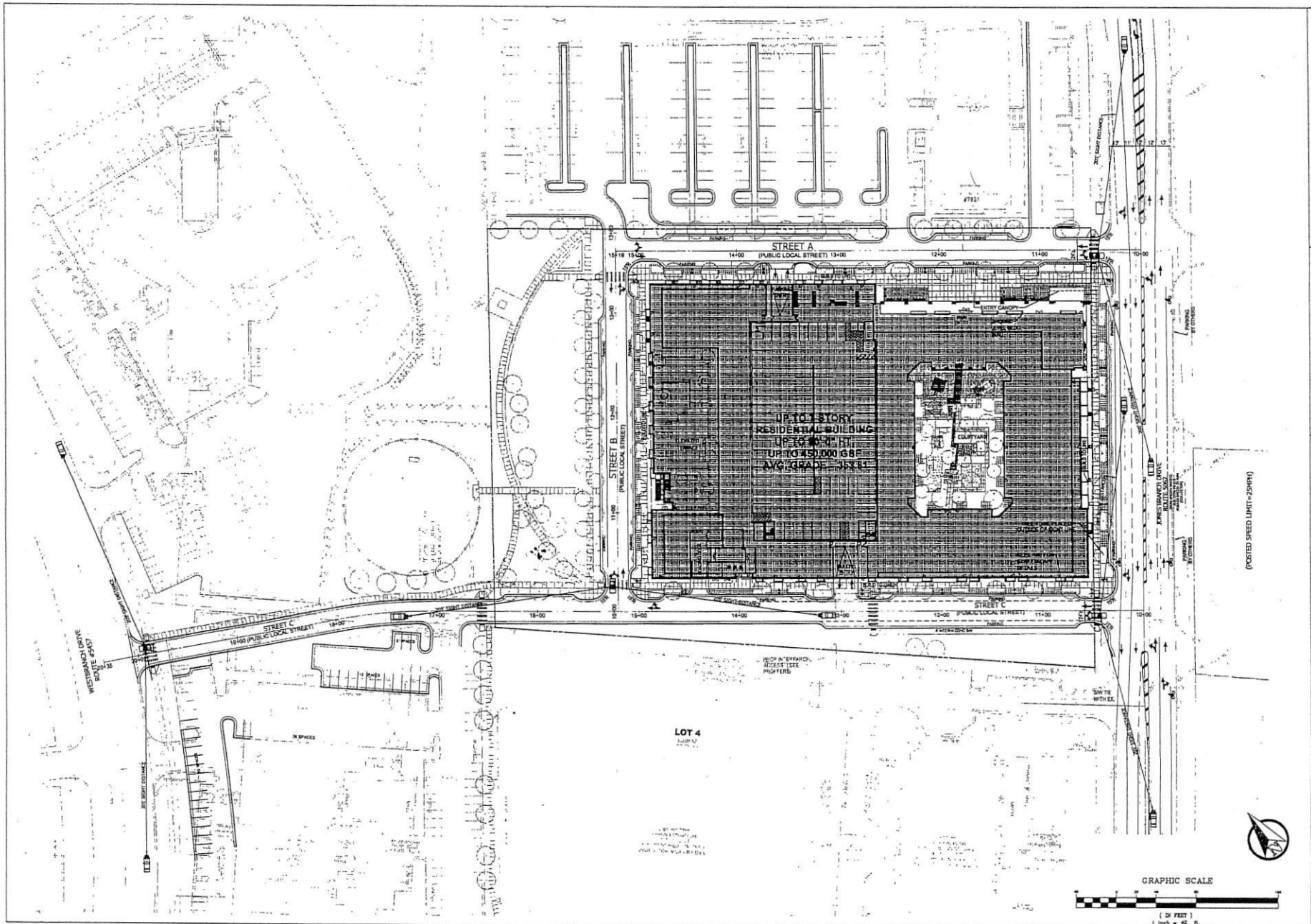
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REV. 02/03/14		
INITIAL SUB.	12/16/13	

DES. RSC DMV. DM

SCALE: 1"=40'

PROJECT/FILE NO.
VV7388F

SHEET NO.
C-7



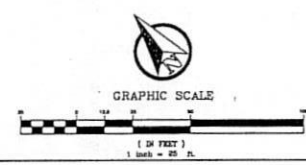
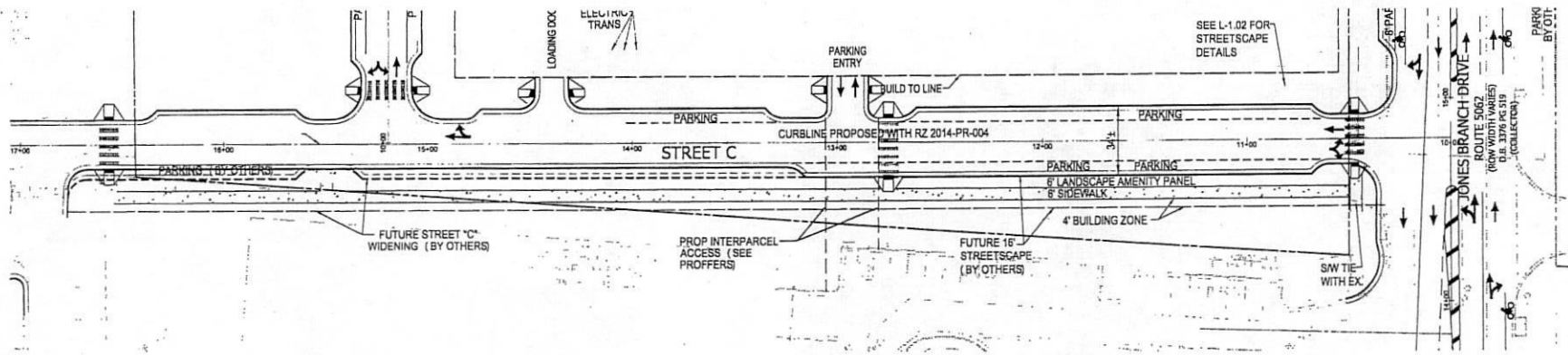
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 404 BRADSHAW AVE
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 WWW.VIKALINC.COM

7915 JONES BRANCH
 DRIVE
 PROVIDENCE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

TRAFFIC CIRCULATION & SIGHT DISTANCE PLAN

VIKA REVISIONS

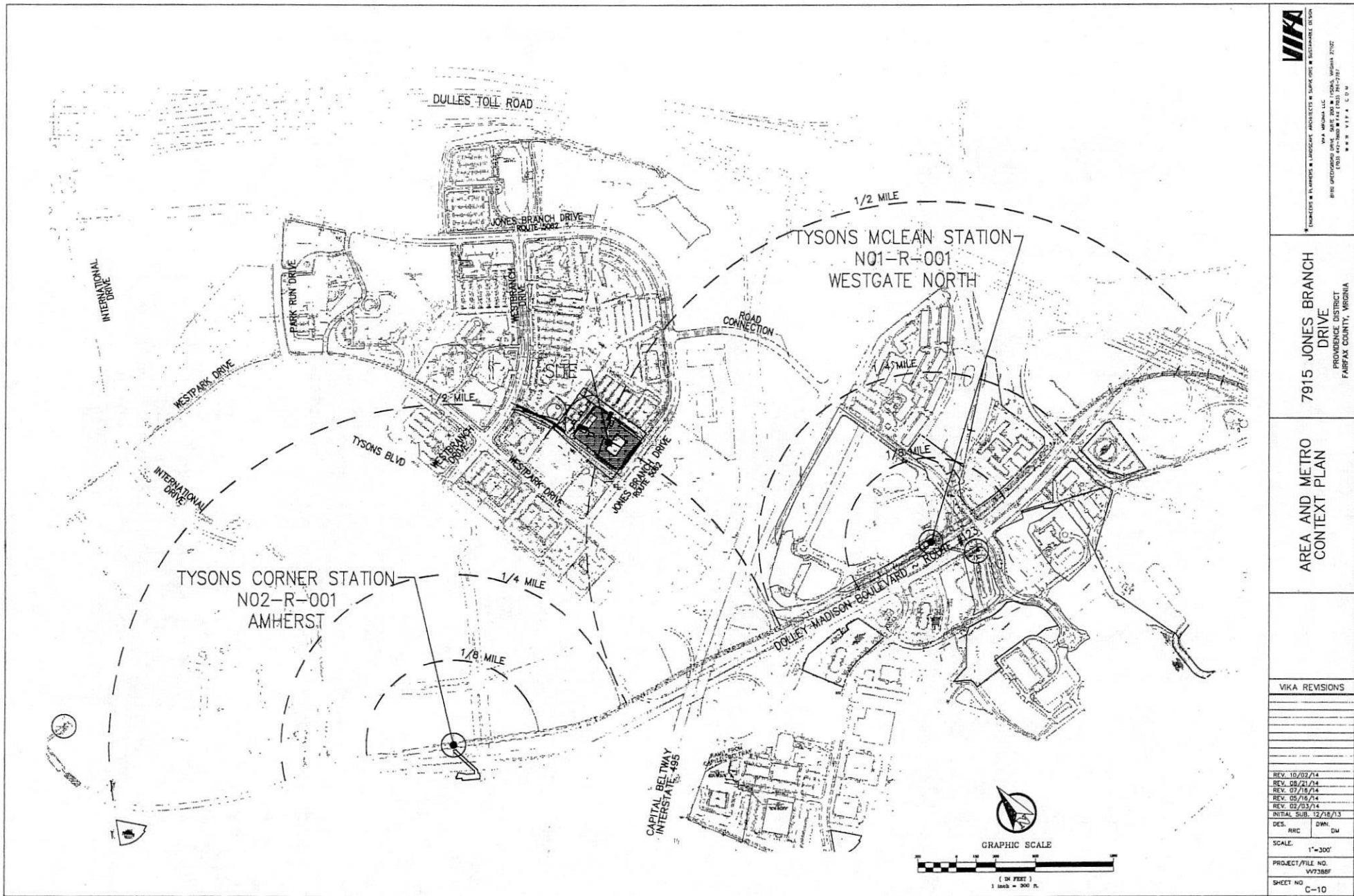
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DES	RAC	DWA
SCALE	1"=40'	
PROJECT/FILE NO.	VV7388F	
SHEET NO.	C-8	

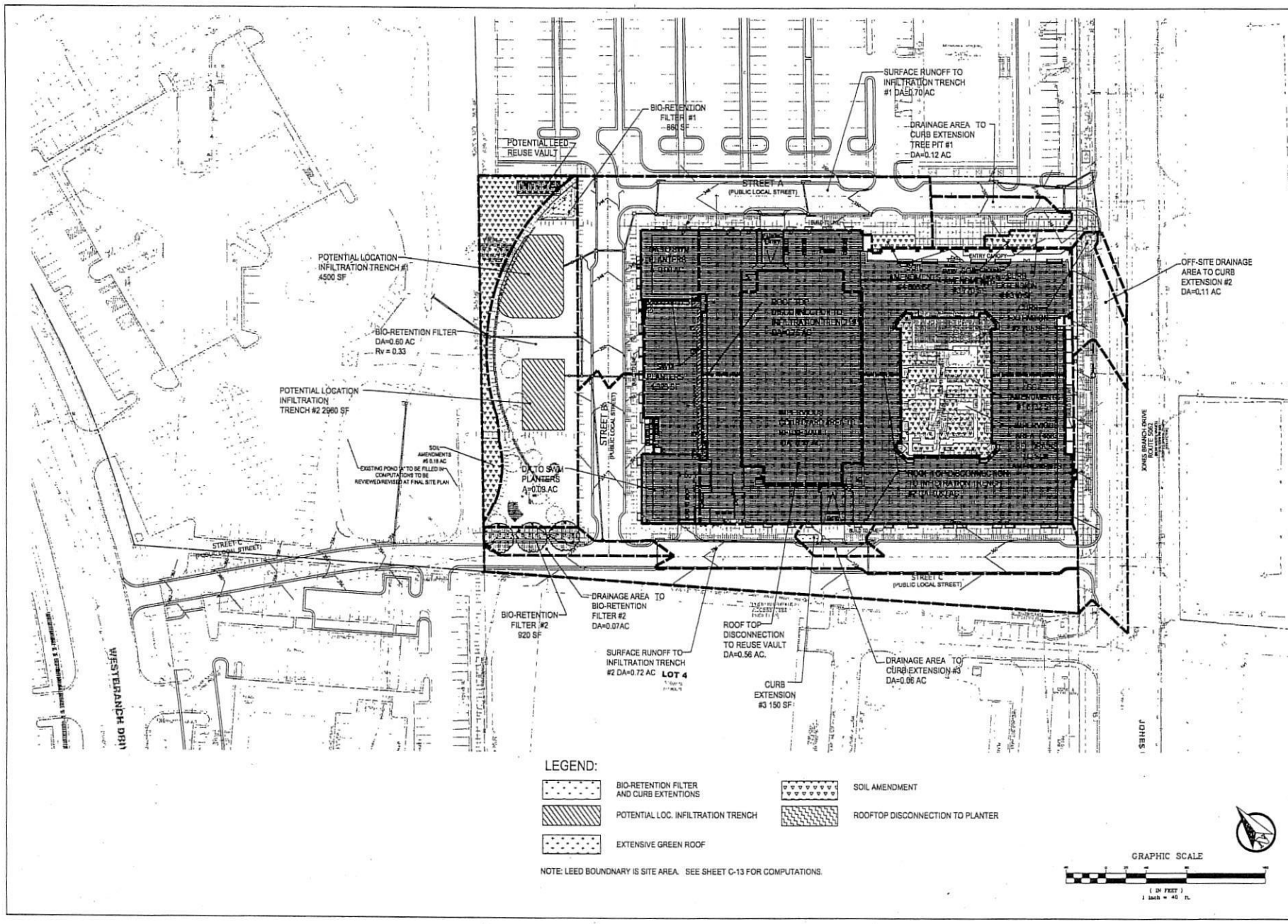


VKA REVISIONS	
REV.	DATE
REV. 10/02/14	
REV. 08/21/14	
REV. 07/15/14	
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REV. 02/03/14	
INITIAL SUB.	12/18/13
DES.	DM
RRC	DM
SCALE:	1"=25'
PROJECT/FILE NO	VY7388F
SHEET NO	C-8A

ULTIMATE STREET "C"
(BY OTHERS)

7915 JONES BRANCH
DRIVE
PROVIDENCE DISTRICT
FARFAX COUNTY, VIRGINIA





PART I: LEED COMPUTATIONS

EXISTING CONDITION

WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE
TR20.DWG	TR20.DWG	TR20.DWG	TR20.DWG
WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10
ANALYST - CDP/TPD	ANALYST - CDP/TPD	ANALYST - CDP/TPD	ANALYST - CDP/TPD
EXISTING CONDITIONS	EXISTING CONDITIONS	EXISTING CONDITIONS	EXISTING CONDITIONS
SUB-AREA:	SUB-AREA:	SUB-AREA:	SUB-AREA:
EXISTING OUTLET	EXISTING OUTLET	EXISTING OUTLET	EXISTING OUTLET
0.0088	91.	1.	
STREAM REACH:	STREAM REACH:	STREAM REACH:	STREAM REACH:
STORM ANALYSIS:	STORM ANALYSIS:	STORM ANALYSIS:	STORM ANALYSIS:
2-YR	3.2	TYPE II: 2	
1-YR	2.7	TYPE II: 2	
STRUCTURE RATING:	STRUCTURE RATING:	STRUCTURE RATING:	STRUCTURE RATING:
GLOBAL OUTPUT:	GLOBAL OUTPUT:	GLOBAL OUTPUT:	GLOBAL OUTPUT:
2	0.05	TTTTT	TTTTT

WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE
TR20.DWG	TR20.DWG	TR20.DWG	TR20.DWG
WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10
ANALYST - CDP/TPD	ANALYST - CDP/TPD	ANALYST - CDP/TPD	ANALYST - CDP/TPD
EXISTING CONDITIONS	EXISTING CONDITIONS	EXISTING CONDITIONS	EXISTING CONDITIONS
SUB-AREA:	SUB-AREA:	SUB-AREA:	SUB-AREA:
EXISTING OUTLET	EXISTING OUTLET	EXISTING OUTLET	EXISTING OUTLET
0.0088	91.	1.	
STREAM REACH:	STREAM REACH:	STREAM REACH:	STREAM REACH:
STORM ANALYSIS:	STORM ANALYSIS:	STORM ANALYSIS:	STORM ANALYSIS:
2-YR	3.2	TYPE II: 2	
1-YR	2.7	TYPE II: 2	
STRUCTURE RATING:	STRUCTURE RATING:	STRUCTURE RATING:	STRUCTURE RATING:
GLOBAL OUTPUT:	GLOBAL OUTPUT:	GLOBAL OUTPUT:	GLOBAL OUTPUT:
2	0.05	TTTTT	TTTTT

WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE
TR20.DWG	TR20.DWG	TR20.DWG	TR20.DWG
WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10
ANALYST - CDP/TPD	ANALYST - CDP/TPD	ANALYST - CDP/TPD	ANALYST - CDP/TPD
EXISTING CONDITIONS	EXISTING CONDITIONS	EXISTING CONDITIONS	EXISTING CONDITIONS
SUB-AREA:	SUB-AREA:	SUB-AREA:	SUB-AREA:
EXISTING OUTLET	EXISTING OUTLET	EXISTING OUTLET	EXISTING OUTLET
0.0088	91.	1.	
STREAM REACH:	STREAM REACH:	STREAM REACH:	STREAM REACH:
STORM ANALYSIS:	STORM ANALYSIS:	STORM ANALYSIS:	STORM ANALYSIS:
2-YR	3.2	TYPE II: 2	
1-YR	2.7	TYPE II: 2	
STRUCTURE RATING:	STRUCTURE RATING:	STRUCTURE RATING:	STRUCTURE RATING:
GLOBAL OUTPUT:	GLOBAL OUTPUT:	GLOBAL OUTPUT:	GLOBAL OUTPUT:
2	0.05	TTTTT	TTTTT

TOTAL RUNOFF VOLUME (EXISTING CONDITIONS)
 1-YR STORM: 1.75 AC X 1.75 (IN) X 1.75 (IN) X 1.75 (IN) = 1.75 CU FT
 2-YR STORM: 1.75 AC X 1.75 (IN) X 1.75 (IN) X 1.75 (IN) = 1.75 CU FT

EXISTING CONDITION

WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE
TR20.DWG	TR20.DWG	TR20.DWG	TR20.DWG
WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10
ANALYST - CDP/TPD	ANALYST - CDP/TPD	ANALYST - CDP/TPD	ANALYST - CDP/TPD
EXISTING CONDITIONS	EXISTING CONDITIONS	EXISTING CONDITIONS	EXISTING CONDITIONS
SUB-AREA:	SUB-AREA:	SUB-AREA:	SUB-AREA:
EXISTING OUTLET	EXISTING OUTLET	EXISTING OUTLET	EXISTING OUTLET
0.0088	91.	1.	
STREAM REACH:	STREAM REACH:	STREAM REACH:	STREAM REACH:
STORM ANALYSIS:	STORM ANALYSIS:	STORM ANALYSIS:	STORM ANALYSIS:
2-YR	3.2	TYPE II: 2	
1-YR	2.7	TYPE II: 2	
STRUCTURE RATING:	STRUCTURE RATING:	STRUCTURE RATING:	STRUCTURE RATING:
GLOBAL OUTPUT:	GLOBAL OUTPUT:	GLOBAL OUTPUT:	GLOBAL OUTPUT:
2	0.05	TTTTT	TTTTT

TOTAL RUNOFF VOLUME (EXISTING CONDITIONS)
 1-YR STORM: 1.75 AC X 1.75 (IN) X 1.75 (IN) X 1.75 (IN) = 1.75 CU FT
 2-YR STORM: 1.75 AC X 1.75 (IN) X 1.75 (IN) X 1.75 (IN) = 1.75 CU FT

EXISTING CONDITION

WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE
TR20.DWG	TR20.DWG	TR20.DWG	TR20.DWG
WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10
ANALYST - CDP/TPD	ANALYST - CDP/TPD	ANALYST - CDP/TPD	ANALYST - CDP/TPD
EXISTING CONDITIONS	EXISTING CONDITIONS	EXISTING CONDITIONS	EXISTING CONDITIONS
SUB-AREA:	SUB-AREA:	SUB-AREA:	SUB-AREA:
EXISTING OUTLET	EXISTING OUTLET	EXISTING OUTLET	EXISTING OUTLET
0.0088	91.	1.	
STREAM REACH:	STREAM REACH:	STREAM REACH:	STREAM REACH:
STORM ANALYSIS:	STORM ANALYSIS:	STORM ANALYSIS:	STORM ANALYSIS:
2-YR	3.2	TYPE II: 2	
1-YR	2.7	TYPE II: 2	
STRUCTURE RATING:	STRUCTURE RATING:	STRUCTURE RATING:	STRUCTURE RATING:
GLOBAL OUTPUT:	GLOBAL OUTPUT:	GLOBAL OUTPUT:	GLOBAL OUTPUT:
2	0.05	TTTTT	TTTTT

TOTAL RUNOFF VOLUME (EXISTING CONDITIONS)
 1-YR STORM: 1.75 AC X 1.75 (IN) X 1.75 (IN) X 1.75 (IN) = 1.75 CU FT
 2-YR STORM: 1.75 AC X 1.75 (IN) X 1.75 (IN) X 1.75 (IN) = 1.75 CU FT

EXISTING CONDITION

WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE
TR20.DWG	TR20.DWG	TR20.DWG	TR20.DWG
WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10
ANALYST - CDP/TPD	ANALYST - CDP/TPD	ANALYST - CDP/TPD	ANALYST - CDP/TPD
EXISTING CONDITIONS	EXISTING CONDITIONS	EXISTING CONDITIONS	EXISTING CONDITIONS
SUB-AREA:	SUB-AREA:	SUB-AREA:	SUB-AREA:
EXISTING OUTLET	EXISTING OUTLET	EXISTING OUTLET	EXISTING OUTLET
0.0088	91.	1.	
STREAM REACH:	STREAM REACH:	STREAM REACH:	STREAM REACH:
STORM ANALYSIS:	STORM ANALYSIS:	STORM ANALYSIS:	STORM ANALYSIS:
2-YR	3.2	TYPE II: 2	
1-YR	2.7	TYPE II: 2	
STRUCTURE RATING:	STRUCTURE RATING:	STRUCTURE RATING:	STRUCTURE RATING:
GLOBAL OUTPUT:	GLOBAL OUTPUT:	GLOBAL OUTPUT:	GLOBAL OUTPUT:
2	0.05	TTTTT	TTTTT

TOTAL RUNOFF VOLUME (EXISTING CONDITIONS)
 1-YR STORM: 1.75 AC X 1.75 (IN) X 1.75 (IN) X 1.75 (IN) = 1.75 CU FT
 2-YR STORM: 1.75 AC X 1.75 (IN) X 1.75 (IN) X 1.75 (IN) = 1.75 CU FT

PART II: PFM COMPLIANCE

PFM ALLOWABLE RELEASE RATE

PER THE PFM, POST-DEVELOPMENT RELEASE RATE FOR THE 2-YEAR AND 10-YEAR STORM MUST NOT EXCEED THE EXISTING CONDITIONS RELEASE RATE. PLEASE NOTE THAT THE EXISTING SITE DOES HAVE STORMWATER MANAGEMENT CONTROLS IN PLACE (OFFSITE POND C). THEREFORE THE PRE-DEVELOPMENT RELEASE RATE IS BASED ON A "C" FACTOR OF 0.30 (GRADE) FOR THE 1-YR STORM AND A "C" FACTOR OF 0.30 FOR THE 10-YR STORM.

PFM PROVIDED RELEASE RATE

THE POST-DEVELOPMENT RELEASE RATE FOR BOTH THE 2-YEAR AND 10-YEAR STORM EVENTS IS CONTROLLED BY EXISTING WET POND C. THIS POND HAS BEEN DESIGNED TO CONTROL THE SUBJECT PROPERTY WITH AN ASSUMED CURVE NUMBER OF 92. AS THE COMPUTATIONS BELOW DEMONSTRATE, THE SUBJECT SITE SHALL BE IN CONFORMANCE TO THE ASSUMED DEVELOPMENT WITHIN THE WATERSHED BY NOT EXCEEDING THE CURVE NUMBER OF 92 AND THEREFORE SHALL MEET ITS STORMWATER MANAGEMENT REQUIREMENTS VIA THE EXISTING POND C.

LAND USE - PROPOSED CONDITION

WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE
TR20.DWG	TR20.DWG	TR20.DWG	TR20.DWG
WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10
ANALYST - CDP/TPD	ANALYST - CDP/TPD	ANALYST - CDP/TPD	ANALYST - CDP/TPD
EXISTING CONDITIONS	EXISTING CONDITIONS	EXISTING CONDITIONS	EXISTING CONDITIONS
SUB-AREA:	SUB-AREA:	SUB-AREA:	SUB-AREA:
EXISTING OUTLET	EXISTING OUTLET	EXISTING OUTLET	EXISTING OUTLET
0.0088	91.	1.	
STREAM REACH:	STREAM REACH:	STREAM REACH:	STREAM REACH:
STORM ANALYSIS:	STORM ANALYSIS:	STORM ANALYSIS:	STORM ANALYSIS:
2-YR	3.2	TYPE II: 2	
1-YR	2.7	TYPE II: 2	
STRUCTURE RATING:	STRUCTURE RATING:	STRUCTURE RATING:	STRUCTURE RATING:
GLOBAL OUTPUT:	GLOBAL OUTPUT:	GLOBAL OUTPUT:	GLOBAL OUTPUT:
2	0.05	TTTTT	TTTTT

BEST MANAGEMENT PRACTICE COMPLIANCE

BMP FACILITY DESIGN CALCULATIONS

Plan Name: 7195 Jones Branch Drive
 Plan Number: 12/17/2015
 Engineer: BC

Part 4: Determine Compliance with Phosphorus Removal Requirement

WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE
TR20.DWG	TR20.DWG	TR20.DWG	TR20.DWG
WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10
ANALYST - CDP/TPD	ANALYST - CDP/TPD	ANALYST - CDP/TPD	ANALYST - CDP/TPD
EXISTING CONDITIONS	EXISTING CONDITIONS	EXISTING CONDITIONS	EXISTING CONDITIONS
SUB-AREA:	SUB-AREA:	SUB-AREA:	SUB-AREA:
EXISTING OUTLET	EXISTING OUTLET	EXISTING OUTLET	EXISTING OUTLET
0.0088	91.	1.	
STREAM REACH:	STREAM REACH:	STREAM REACH:	STREAM REACH:
STORM ANALYSIS:	STORM ANALYSIS:	STORM ANALYSIS:	STORM ANALYSIS:
2-YR	3.2	TYPE II: 2	
1-YR	2.7	TYPE II: 2	
STRUCTURE RATING:	STRUCTURE RATING:	STRUCTURE RATING:	STRUCTURE RATING:
GLOBAL OUTPUT:	GLOBAL OUTPUT:	GLOBAL OUTPUT:	GLOBAL OUTPUT:
2	0.05	TTTTT	TTTTT

I. WATER QUALITY NARRATIVE
 CURRENTLY THE SITE CONSISTS OF 5.75 ACRES OF OFFICE DEVELOPMENT WITH AN AVERAGE IMPERVIOUSNESS OF 80% AND EXISTING BMP CONTROL. THE FORM OF AN EXISTING WET POND (POND C) THE EXISTING SITE SHALL BE DEVELOPED AS A MULTIFAMILY RESIDENTIAL USE. THE SITE IS LOCATED IN A RESOURCE MANAGEMENT AREA OUTSIDE THE OCCOQUAN WATERSHED AND SHALL BE CONSIDERED NEW DEVELOPMENT THEREFORE, 40% PHOSPHORUS REMOVAL IS REQUIRED (BMP REQUIREMENTS SHALL BE MET VIA THE USE OF NUTRIENT HARVESTING, RAIN GARDEN (BIO-RETENTION), INFILTRATION FACILITIES, AND TREE PITS (URBAN BIORETENTION)).

II. WATERSHED INFORMATION

Part 1: List all of the Subareas and "C" Factors used in the BMP Computations

WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE
TR20.DWG	TR20.DWG	TR20.DWG	TR20.DWG
WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10
ANALYST - CDP/TPD	ANALYST - CDP/TPD	ANALYST - CDP/TPD	ANALYST - CDP/TPD
EXISTING CONDITIONS	EXISTING CONDITIONS	EXISTING CONDITIONS	EXISTING CONDITIONS
SUB-AREA:	SUB-AREA:	SUB-AREA:	SUB-AREA:
EXISTING OUTLET	EXISTING OUTLET	EXISTING OUTLET	EXISTING OUTLET
0.0088	91.	1.	
STREAM REACH:	STREAM REACH:	STREAM REACH:	STREAM REACH:
STORM ANALYSIS:	STORM ANALYSIS:	STORM ANALYSIS:	STORM ANALYSIS:
2-YR	3.2	TYPE II: 2	
1-YR	2.7	TYPE II: 2	
STRUCTURE RATING:	STRUCTURE RATING:	STRUCTURE RATING:	STRUCTURE RATING:
GLOBAL OUTPUT:	GLOBAL OUTPUT:	GLOBAL OUTPUT:	GLOBAL OUTPUT:
2	0.05	TTTTT	TTTTT

III. a. PHOSPHORUS REMOVAL - "OCCOQUAN METHOD"

Part 2: Compute the Weighted Average "C" Factor for the Site

WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE
TR20.DWG	TR20.DWG	TR20.DWG	TR20.DWG
WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10
ANALYST - CDP/TPD	ANALYST - CDP/TPD	ANALYST - CDP/TPD	ANALYST - CDP/TPD
EXISTING CONDITIONS	EXISTING CONDITIONS	EXISTING CONDITIONS	EXISTING CONDITIONS
SUB-AREA:	SUB-AREA:	SUB-AREA:	SUB-AREA:
EXISTING OUTLET	EXISTING OUTLET	EXISTING OUTLET	EXISTING OUTLET
0.0088	91.	1.	
STREAM REACH:	STREAM REACH:	STREAM REACH:	STREAM REACH:
STORM ANALYSIS:	STORM ANALYSIS:	STORM ANALYSIS:	STORM ANALYSIS:
2-YR	3.2	TYPE II: 2	
1-YR	2.7	TYPE II: 2	
STRUCTURE RATING:	STRUCTURE RATING:	STRUCTURE RATING:	STRUCTURE RATING:
GLOBAL OUTPUT:	GLOBAL OUTPUT:	GLOBAL OUTPUT:	GLOBAL OUTPUT:
2	0.05	TTTTT	TTTTT

(b) Total: 3.77

(c) Weighted average "C" Factor: 0.33

Part 3: Compute the Total Phosphorus Removal for the Site

WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE	WQTR-20 PRINTED PAGE FILE
TR20.DWG	TR20.DWG	TR20.DWG	TR20.DWG
WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10	WQTR-20: VERSION 1.10
ANALYST - CDP/TPD	ANALYST - CDP/TPD	ANALYST - CDP/TPD	ANALYST - CDP/TPD
EXISTING CONDITIONS	EXISTING CONDITIONS	EXISTING CONDITIONS	EXISTING CONDITIONS
SUB-AREA:	SUB-AREA:	SUB-AREA:	SUB-AREA:
EXISTING OUTLET	EXISTING OUTLET	EXISTING OUTLET	EXISTING OUTLET
0.0088	91.	1.	
STREAM REACH:	STREAM REACH:	STREAM REACH:	STREAM REACH:
STORM ANALYSIS:	STORM ANALYSIS:	STORM ANALYSIS:	STORM ANALYSIS:
2-YR	3.2	TYPE II: 2	
1-YR	2.7	TYPE II: 2	
STRUCTURE RATING:	STRUCTURE RATING:	STRUCTURE RATING:	STRUCTURE RATING:
GLOBAL OUTPUT:	GLOBAL OUTPUT:	GLOBAL OUTPUT:	GLOBAL OUTPUT:
2	0.05	TTTTT	TTTTT

(d) Total: 0.33

NOTE: ALL STORMWATER MANAGEMENT FACILITIES WILL BE PRIVATELY MAINTAINED AND A PRIVATE MAINTENANCE AGREEMENT WILL BE REQUIRED BEFORE THE CONSTRUCTION PLAN IS APPROVED.



WKA
 7195 JONES BRANCH DRIVE
 PROVIDENCE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

WKA REVISIONS

REV. 10/23/14
 REV. 05/21/14
 REV. 07/17/14
 REV. 05/16/14
 REV. 05/13/14
 INITIAL: JWB, 12/18/13

DES. NC DWN. BC

SCALE: N/A

PROJECT/FILE NO. VVT388F

SHEET NO. C-13

The following information is required to be shown or provided in all zoning applications, or a waiver request of the submission requirement with justification shall be attached. Note: Waivers will be acted upon separately. Failure to adequately address the required submission information may result in a delay in processing the application.

This information is required under the following zoning Ordinance paragraphs:

Special Permits (9-C11 2J & 2L)	Special Exceptions (9-C11 2J & 2L)
Cluster Subdivision (9-B15 1G & 1H)	Commonwealth Revitalization Districts (9-B22 2A (12) & (14))
Development Plans PRC District (15-222 3 & 4)	PRC Map (15-202 1E & 1G)
FOP P Districts (except PRC) (15-102 1F & 1G)	Amendments (15-202 10F & 10H)

- ☒ 2 A graphic depicting the stormwater management facility(ies) and links of existing and grading accommodations the stormwater management facility(ies) storm drainage pipe systems and outlet protection, pond spillways, access roads, site outlets, energy dissipation devices, and stream stabilization measures as shown on Sheet C-112.

3. Provider Facility Name/ Type & No	On-site area served (acres)	Off-site area served (acres)	Drainage area (acres)	Footprint area (sq ft)	Storage Volume (cu ft)	If pond, or height (ft)
LEEDS/CLUSE UNIT	1.55	0	1.51	640	21,000	N/A

- [illegible]

Tyson's Corner Curb Extension Sizing chart (ON-SITE)

CURB EXTENSION	DA (AC.)	SURFACE AREA: IN REQ'D (SFT)	Ty REQ'D (CFT)	SURFACE AREA PROV'D (SFT)	PONDING DEPTH (INCH)	SOIL DEPTH (FT)	GRAVEL DEPTH (FT)	PONDING Vt	SOIL Vt	GRAVEL Vt	Ty PROV'D
1	0.11	207	0.95	414	310	6	2.5	1	0.25	0.4	473
3	0.06	103	0.95	207	150	6	2.5	1	0.25	0.4	229

[illegible]

CURB EXTENSION	DA	SURFACE AREA	Rv	T
----------------	----	--------------	----	---

#	(Ac.)	REQ'D (SFT)	REQ'D (CFT)	PROV'D (SFT)	DEPTH (INCH)	DEPTH (FT)	DEPTH (FT)	Vr	Vr	Vr	PROV'D	
2	0.11	190	0.95	379	205	6	4	1	1	0.25	0.4	793
TOTALS ±	0.11	190		379	205							390

\\sankar\cna\cna\DATA\7000\9000\7368\VV73R8G\SWM\DCR SPEC CALC'S Site Plan.xls Infiltration

1. $\mathcal{H}_1 = \{H_1, H_2, \dots, H_n\}$
 2. $\mathcal{H}_2 = \{H_1, H_2, \dots, H_n\}$
 3. $\mathcal{H}_3 = \{H_1, H_2, \dots, H_n\}$
 4. $\mathcal{H}_4 = \{H_1, H_2, \dots, H_n\}$
 5. $\mathcal{H}_5 = \{H_1, H_2, \dots, H_n\}$
 6. $\mathcal{H}_6 = \{H_1, H_2, \dots, H_n\}$
 7. $\mathcal{H}_7 = \{H_1, H_2, \dots, H_n\}$
 8. $\mathcal{H}_8 = \{H_1, H_2, \dots, H_n\}$
 9. $\mathcal{H}_9 = \{H_1, H_2, \dots, H_n\}$
 10. $\mathcal{H}_{10} = \{H_1, H_2, \dots, H_n\}$

Flow rate (l/min)	D4	SURFACE AREA, m ²	T ₄	SURFACE AREA, m ²
10	0.0001	0.0001	0.0001	0.0001
20	0.0002	0.0002	0.0002	0.0002
30	0.0003	0.0003	0.0003	0.0003
40	0.0004	0.0004	0.0004	0.0004
50	0.0005	0.0005	0.0005	0.0005
60	0.0006	0.0006	0.0006	0.0006
70	0.0007	0.0007	0.0007	0.0007
80	0.0008	0.0008	0.0008	0.0008
90	0.0009	0.0009	0.0009	0.0009
100	0.0010	0.0010	0.0010	0.0010
120	0.0012	0.0012	0.0012	0.0012
140	0.0014	0.0014	0.0014	0.0014
160	0.0016	0.0016	0.0016	0.0016
180	0.0018	0.0018	0.0018	0.0018
200	0.0020	0.0020	0.0020	0.0020
220	0.0022	0.0022	0.0022	0.0022
240	0.0024	0.0024	0.0024	0.0024
260	0.0026	0.0026	0.0026	0.0026
280	0.0028	0.0028	0.0028	0.0028
300	0.0030	0.0030	0.0030	0.0030
320	0.0032	0.0032	0.0032	0.0032
340	0.0034	0.0034	0.0034	0.0034
360	0.0036	0.0036	0.0036	0.0036
380	0.0038	0.0038	0.0038	0.0038
400	0.0040	0.0040	0.0040	0.0040
420	0.0042	0.0042	0.0042	0.0042
440	0.0044	0.0044	0.0044	0.0044
460	0.0046	0.0046	0.0046	0.0046
480	0.0048	0.0048	0.0048	0.0048
500	0.0050	0.0050	0.0050	0.0050
520	0.0052	0.0052	0.0052	0.0052
540	0.0054	0.0054	0.0054	0.0054
560	0.0056	0.0056	0.0056	0.0056
580	0.0058	0.0058	0.0058	0.0058
600	0.0060	0.0060	0.0060	0.0060
620	0.0062	0.0062	0.0062	0.0062
640	0.0064	0.0064	0.0064	0.0064
660	0.0066	0.0066	0.0066	0.0066
680	0.0068	0.0068	0.0068	0.0068
700	0.0070	0.0070	0.0070	0.0070
720	0.0072	0.0072	0.0072	0.0072
740	0.0074	0.0074	0.0074	0.0074
760	0.0076	0.0076	0.0076	0.0076
780	0.0078	0.0078	0.0078	0.0078
800	0.0080	0.0080	0.0080	0.0080
820	0.0082	0.0082	0.0082	0.0082
840	0.0084	0.0084	0.0084	0.0084
860	0.0086	0.0086	0.0086	0.0086
880	0.0088	0.0088	0.0088	0.0088
900	0.0090	0.0090	0.0090	0.0090
920	0.0092	0.0092	0.0092	0.0092
940	0.0094	0.0094	0.0094	0.0094
960	0.0096	0.0096	0.0096	0.0096
980	0.0098	0.0098	0.0098	0.0098
1000	0.0100	0.0100	0.0100	0.0100

	UN (in.)	PROF'D AREA REQ'D (SFT)	PROF'D AREA REQ'D (CY)	FILLING DEPTH (INCH)	JACK DEPTH (FT)	FILLING DEPTH (FT)	JACK DEPTH (FT)	PROF'D CY			
	(AL)				Vr	Vt	Vt				
Pile #1	0.6	561	0.37	898	660	3	3	1	0.25	0.4	1132
Pile #2	0.07	229	0.95	901	920	2	3	1	0.25	0.4	1211
TOTALS	0.67	800	1.32	1290							2344

```
\\kamcardc\eng\DATA\XXXX\XXXX\7388G\SWH\DCR SPEC CALCS- Site Manalys\infiltration
Name: Sump based on DCR Spec#9 - Level 2
LAT(FT) On 1 25° To 1.55
POL(RED) 13° Re A/12
POL(RED) 13° Re A/12
POL(RED) 13° Re A/12
```

Tyson's Corner Infiltration Sizing chart (COP/POP)

INTEGRATION FRANCH NUMBER	LEVEL 1/LEVEL 2	DATE TO FRANCH (Ac.)	RV	TV	SURFACE AREA PROVD (SFT)	TV (ft/day)	TV (day)	TV (ft)	TV (day)	TV (ft)	TV (day)
1	Level 1	1.44	0.95	4966	4500	1.04	2.000	0.40	2.600	3	0.083
2	Level 1	1.53	0.95	5276	2960	1.04	2.000	0.40	2.500	6.5	0.083
Total		2.97		10242	7460						

Note: Slating based on DCR Spec #8
 $Ty = REED / Q \times 10^{-6} \times Ru \times DA / 12$
 Ty=REED/(Q*1e-6)*Ru*DA/12

STORMWATER	DA TO Planter	SURFACE AREA	Rv	Tv	SURF
------------	---------------	--------------	----	----	------

PLANTER #	(AL)	RE'D (SFT)	RE'Q'D (CFT)	PROV'D (SFT)	DEPTH (INCH)	DEPTH (FT)	DEPTH (FT)	Vr	Vr	Vr	PROV'D (CFT)		
1		0.09	155	0.95	310	223	3	4	1	1	0.25	0.4	36
2		0.09	155	0.95	310	1130	4	4	1	1	0.25	0.4	189
TOTALS =		0.18	310		621	1353							225

SA/(RED*Q)=Tw/2
Tw/(RED*Q)=1**Tw*A/12

Soil Amendment Area	Hydrologic Soil	DA To Amended Soils	Rv
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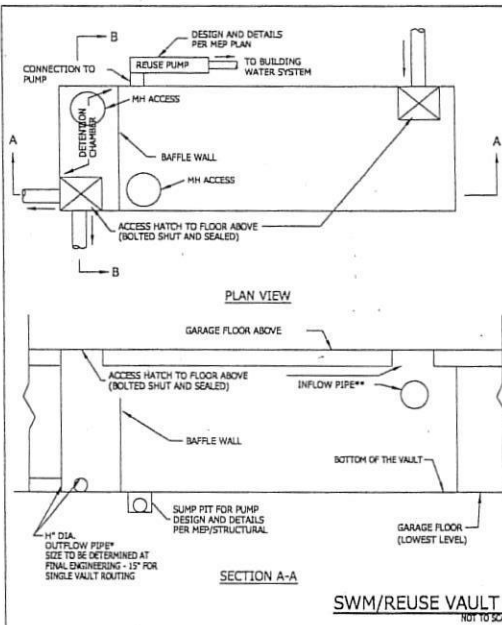
	Group	(Ac.)	(Ac.)	Ratio	REQD (C/F)	PROVD (F/T)	(%)	unitless	PROVD (C/X)
1	D	0.13	0.14	0.25	0.75	480	612	1.30	2300
J	D	0	0.12	0.25	-	320	520	1	275
J	D	0	0.02	0.25	-	18	785	1	0.15
A	D	0	0.05	0.25	-	8	658	1	0.25
		0	0.18	0.25	-	153	7950	1	0.25
Total		0.11	0.47	0.75	780	20645			5928

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\\wikimclean\eng\DATA\7000-9000\73BHV73BNG\SWHM\DCR SPEC CALCS Site Plan.xlsx\Infiltrat
Vary Temp Induced on DCR Est. 22.4.12
T=KEFF*G*10^9*Pa/Pa/12
T=2000/DI*sqrt(2*pi*12)
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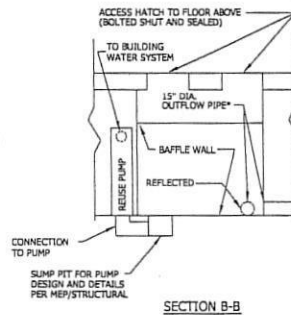
TOTAL RUNOFF REDUCTION VOLUME PROVIDED (LEED EVENT)	
TREE PITS (ON SITE) =	702 CFT
RAIN GARDEN =	2,581 CFT
STORMWATER PLANTER	1,960 CFT
SOIL AMENDMENT	600 CFT
INFILTRATION	16,329 CFT
TOTALS =	22,281 CFT

TOTAL INCLUDES THE 1ST VOLUME AND ADDITIONAL VOLUME

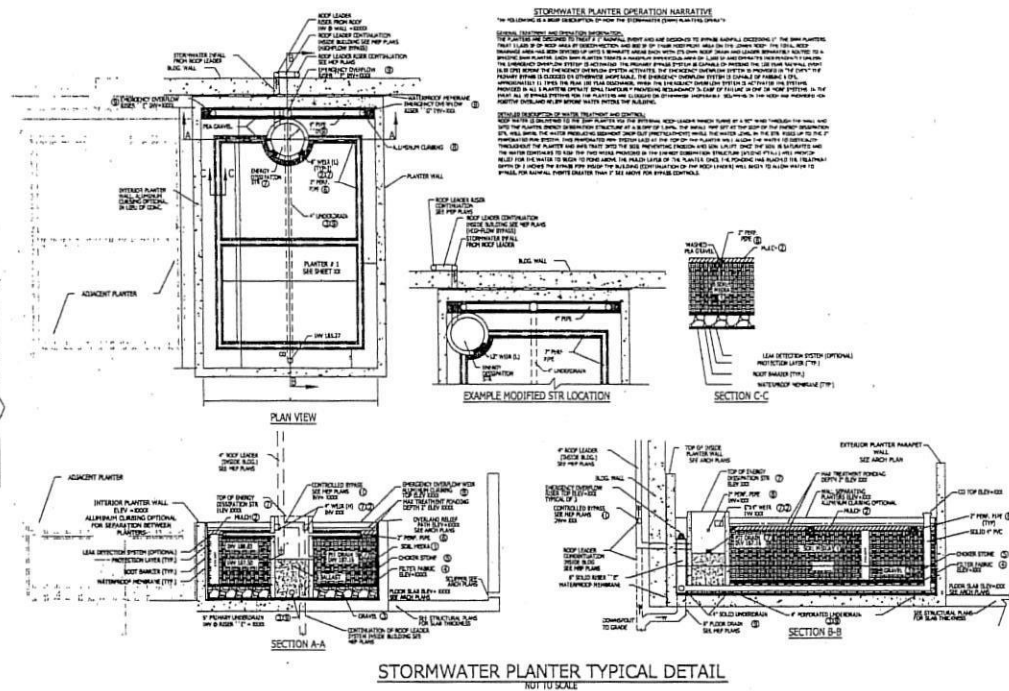
NOTE:
ALL STORMWATER MANAGEMENT FACILITIES WILL BE PRIVATELY
MAINTAINED AND A PRIVATE MAINTENANCE AGREEMENT WILL BE
REQUIRED BEFORE THE CONSTRUCTION PLAN IS APPROVED.



- ONE OUTFLOW PIPE PER VAULT LOCATION TO BE DETERMINED WITH FINAL ENGINEERING. OUTFLOW MAY BE PUMPED
 • FINAL NUMBER AND LOCATION OF INFLOW PIPES PER MEP
- NOTES:
 1) FINAL NUMBER, SHAPE, SIZE, LOCATION, AND DESIGN OF STORMWATER MANAGEMENT VAULTS ARE SUBJECT TO CHANGE AT THE TIME OF FINAL ENGINEERING
 2) SUPPORT AND REINFORCING FOR VAULTS PER STRUCTURAL ENGINEERING PLANS.

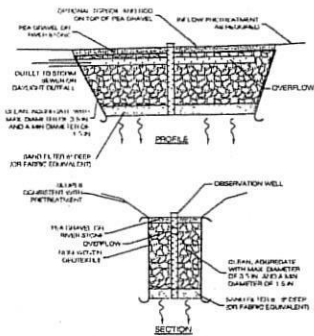


SWM/REUSE VAULT TYPICAL DETAIL
 NOT TO SCALE



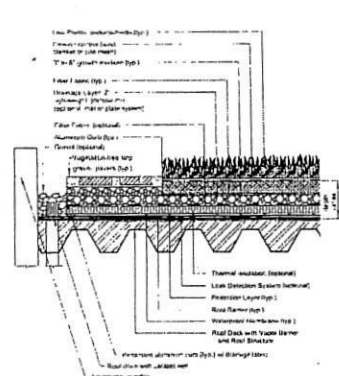
STORMWATER PLANTER TYPICAL DETAIL
 NOT TO SCALE

VA DCR STORMWATER DESIGN SPECIFICATION NO. 8



TYPICAL INFILTRATION TRENCH DETAIL

VA DCR STORMWATER DESIGN SPECIFICATION NO. 9



TYPICAL EXTENSIVE GREEN ROOF DETAIL

SEE LANDSCAPE PLAN SHEETS FOR URBAN BIO-RETENTION (TREE PITS) AND RAIN-GARDEN DETAILS.

NOTE:
 ALL STORMWATER MANAGEMENT FACILITIES MUST BE PRIVATELY MAINTAINED AND A PRIVATE MAINTENANCE AGREEMENT WILL BE REQUIRED BEFORE THE CONSTRUCTION PLAN IS APPROVED.

TYSONS CORNER COMPREHENSIVE PLAN STORMWATER CONFORMANCE CHECKLIST NARRATIVE

THE PURPOSE OF THIS NARRATIVE IS TO DETAIL THE PROCESS BY WHICH THE SUBJECT SITE MEETS, EXCEEDS, OR PROVIDES TO THE MAXIMUM EXTENT PRACTICABLE THE RUNOFF REDUCTION REQUIREMENTS OF THE TYSONS CORNER COMPREHENSIVE PLAN.

COMPREHENSIVE PLAN STORMWATER MANAGEMENT GOALS:

- THIS STORMWATER MANAGEMENT NARRATIVE EXPLAINS HOW THIS PLAN PROPOSES TO MEET THE STORMWATER MANAGEMENT GOALS OF THE TYSONS CORNER COMPREHENSIVE PLAN. THIS NARRATIVE DESCRIBES THE VARIOUS STRATEGIES BY WHICH THE SUBJECT SITE IS TO BE MET (E.G. VEGETATIVE ROOF, URBAN BIO-RETENTION, PERMEABLE PAVEMENT) AS WELL AS THOSE STRATEGIES EVALUATED BUT WERE UNABLE TO IMPLEMENT DUE TO SITE CONSTRAINTS.

COMPREHENSIVE PLAN STORMWATER MANAGEMENT GOALS	RESPONSE
STORMWATER MANAGEMENT AND WATER QUALITY CONTROLS FOR THE SUBJECT SITE SHOULD BE DESIGNED TO RETURN WATER INTO THE GROUND WHERE SOLS ARE SUITABLE OR REUSE IT, WHERE ALLOWED, TO THE EXTENT PRACTICABLE. REDUCTION OF STORMWATER RUNOFF VOLUME IS THE SINGLE MOST IMPORTANT STORMWATER DESIGN OBJECTIVE FOR TYSONS.	INFILTRATION FACILITIES HAVE BEEN PROVIDED AS A POSSIBLE MEASURE TO HELP RETAIN A PORTION OF THE 1" INCH OF RAINFALL VOLUME FROM THE SITE. POTENTIAL INFILTRATION FACILITY LOCATIONS FOR THIS PROJECT ARE LIMITED FOR SEVERAL REASONS INCLUDING PROPOSED FUTURE POINT-OF-WAY DESIGNATIONS AS WELL AS THE SOLS FOUND IN THIS AREA. TYSONS, AS SUCH, THESE FACILITIES SHALL REQUIRE WAIVERS DUE TO PREVIOUS CONSTRUCTION ON-SITE MATERIAL, IN PRESENT AND FOR INFILTRATION RATES LESS THAN 0.2 IN/HR. A FULL LIST OF REQUIRED INFILTRATION FACILITIES PROPOSED WITH THIS APPLICATION INCLUDE: BIO-RETENTION AREAS, PERMEABLE PAVEMENT, AND INFILTRATION TRENCHES. THE FOCUS OF THE OVERALL SWM PLAN IS TREATMENT OF THE PROPOSED SUPERFICIAL AREAS WITH RUNOFF REDUCING BMP'S. AS SUCH, WHERE PRACTICABLE ROOF TOP AREAS HAVE BEEN CONNECTED TO THESE PRACTICES AND PERMEABLE PAVEMENT HAS BEEN INSTALLED INTO THE STREETSCAPE.
IF A MINIMUM, THE FIRST INCH OF RAINFALL SHOULD BE RETAINED ON-SITE THROUGH INFILTRATION, EVAPORATION/TRANSPIRATION AND/OR REUSE, IF, ON A GIVEN SITE, THE RETENTION ON-SITE OF THE FIRST INCH OF RAINFALL IS DEMONSTRATED NOT TO BE FULLY ACHIEVABLE, ALL AVAILABLE MEASURES SHOULD BE IMPLEMENTED TO THE EXTENT POSSIBLE IN ORDER TO SUPPORT THIS GOAL AND ACHIEVE PARTIAL RETENTION OF THE FIRST INCH OF RAINFALL.	THE TARGET GOAL OF THE RUNOFF REDUCTION METHOD IS TO EXPOSE AND CONTROL THE FIRST INCH OF RAINFALL. TO THIS EXTENT FOUR MAIN STORMWATER MANAGEMENT STRATEGIES HAVE BEEN UTILIZED: PERMEABLE PAVEMENT, RAIN GARDENS, INFILTRATION, SOIL AMENDMENT, ROOFTOP DISCONNECT TO STORMWATER PLANTERS AND URBAN BIO-RETENTION (TREE PITS). <ul style="list-style-type: none"> THE PERMEABLE PAVEMENT SHALL BE DESIGNED PER DCR SPEC #7. RAIN GARDENS SHALL BE DESIGNED PER DCR SPEC #8. INFILTRATION FACILITIES SHALL BE DESIGNED PER DCR SPEC #9. SOIL AMENDMENTS SHALL BE DESIGNED PER DCR SPEC #10. STORMWATER PLANTERS SHALL BE DESIGNED PER DCR SPEC #11. THE URBAN BIO-RETENTION TREE PITS SHALL BE DESIGNED PER DCR SPEC #12. THESE THREE PITS ARE UTILIZED TO TREAT THE ROADWAY RUNOFF AS WELL AS THE SURROUNDING STREETSCAPE. DUE TO THE URBAN NATURE OF THIS SITE, GRADE, GRAVEL, GRASS CHANNELS, EXTENDED DETENTION PONDS, VEGETATIVE FILTER STRIPS, AND SHEET FLOW TO CONSERVATION AREAS ARE NOT PRACTICABLE.
NO DISCONNECT COMPUTATIONS HAVE BEEN PROVIDED THAT VERIFY THE REQUIRED STORAGE HAS BEEN MET FOR EACH ALTERNATIVE. EACH OF THESE PRACTICES IS ADEQUATELY NEEDED FOR THE PROPOSED DRAINAGE AREA TO THEM.	THESE PRACTICES COMBINED WOULD AN ON-SITE AND OFF-SITE RETAINED RAINFALL DEPTH OF 1.8 INCHES (PER NOTE THAT THE RUNOFF REDUCTION ACHIEVED ACTUALLY IS 1.23 INCHES IF CREDIT IS ALLOWED FOR THE LEED RAINFALL EVENT). URBAN DESIGN GUIDELINES, NEED FOR PERMEABLE, AND SIGNATURE SKYLINE ARCHITECTURE PRECLUDE THE ABILITY TO MEET ALL GOALS FOR PLAN AND AVAILABLE FOR SWM PURPOSES. OTHER CONSTRAINTS: A TOTAL CONTROLLED AREA OF 4.38 ACRES OR 8% OF THE SITE HAS BEEN IDENTIFIED AND DISMISSED AS THE MAXIMUM EXTENT PRACTICABLE. WE HAVE MET THE TYSONS CORNER COMPREHENSIVE PLAN GOAL TO RETAIN THE FIRST INCH OF RAINFALL.
PLEASE NOTE THAT 4.11 ACRES OF OFF-SITE DRAINAGE ALONG THE SITE BOUNDARY, INCLUDING THE JONES BRANCH ROAD, IS REQUIRED TO MEET THE REQUIREMENTS OF THE TYSONS CORNER COMPREHENSIVE PLAN WITH REGARD TO STORMWATER MANAGEMENT.	THE RUNOFF REDUCTION PLAN SHALL BE USED IN CONFORMANCE WITH THE DCR SPECIFICATION THAT GOVERNS THEM. THE PERMEABLE PAVEMENT, INFILTRATION, SOIL AMENDMENTS, STORMWATER PLANTERS, RAIN GARDENS, AND URBAN BIO-RETENTION HAVE BEEN DESIGNED IN ACCORDANCE WITH THEIR RESPECTIVE SPECIFICATION.
REDEVELOPMENT PROJECTS IN TYSONS SHOULD INCORPORATE INFILTRATION, EVAPORATION/TRANSPIRATION, AND MANAGEMENT MEASURES IN A MANNER THAT WILL FIRST AND FOREMOST, OPTIMIZE REDUCTION OF STORMWATER RUNOFF VOLUME AND CONTROL OF PEAK FLOWS FOR THE ADJACENT STORMWATER THAT CANNOT BE COMPLETELY CAPTURED ON-SITE.	LEED STORMWATER CREDITS 1.1 AND 1.2 SHALL BE OBTAINED THROUGH THE USE OF THE HANDS RUNOFF REDUCTION METHODS PREVIOUSLY DESCRIBED. EACH PRACTICE PROVIDES BOTH QUANTITY AND QUALITY CREDIT. FOR LEED CREDIT 1.1 THE VOLUME BASED COMPUTATIONS PROVIDED USE A SITE IMPERVIOUSNESS OF GREATER THAN 60% AS THIS IS THE EXISTING CONDITION ON-SITE. FOR THE PEAK RATE RELEASE COMPUTATIONS THE SITE IS ASSUMED TO BE LESS THAN 60% BECAUSE THERE ARE EXISTING DETENTION FACILITIES ON-SITE WHICH REDUCE THE SITE PEAK RELEASE RATES TO THAT OF AN UNDEVELOPED CONDITION (E.G. LESS THAN 0.2 IN/HR). FOR CREDIT 1.2 TREATMENT ON-SITE MAY BE SUPPLEMENTED BY MANUFACTURED BMP INFILTRATION FACILITIES ON-SITE AT THE TIME OF FINAL SITE PLAN AND/OR A LEED REUSE VAULT/TRENCH DETENTION.
AT A MINIMUM, STORMWATER MANAGEMENT MEASURES THAT ARE SUFFICIENT TO ATTAIN BOTH THE STORMWATER DESIGN QUANTITY CONTROL AND STORMWATER DESIGN-QUALITY CONTROL CREDITS OF THE MOST CURRENT VERSION OF THE LEED, OR LEED-CERTIFYING SYSTEM (FOR THE EQUIVALENT OF THESE CREDITS SHOULD BE PROVIDED, IF, ON A GIVEN SITE, THE ATTAINMENT OF THE STORMWATER DESIGN LEED CREDITS (OR EQUIVALENT) IS DEMONSTRATED NOT TO BE FULLY ACHIEVABLE, ALL AVAILABLE MEASURES SHOULD BE IMPLEMENTED TO THE EXTENT POSSIBLE IN SUPPORT OF THIS GOAL.	THIS SUBJECT APPLICATION DOES NOT PROPOSE SHARED STORMWATER ALTERNATIVE, HOWEVER POTENTIAL OFF-SITE CONTROLS MAY BE PROVIDED TO TREAT PORTIONS OF THE EXISTING JONES BRANCH ROAD.
TECHNOLOGICAL APPROACHES MAY INCORPORATE COORDINATED STORMWATER MANAGEMENT ON MULTIPLE DEVELOPMENT SITES TO ACHIEVE ADDITIONAL STORMWATER MANAGEMENT EFFORTS SHOULD BE INCORPORATED.	LOW IMPACT DEVELOPMENT (LID) TECHNIQUES ARE PROVIDED FOR IN THE STREET DESIGN AND INFILTRATION FACILITIES AND THE URBAN BIO-RETENTION (TREE PIT). THESE TREE PITS PROVIDE BOTH QUANTITY AND QUALITY CREDIT, AS OUTLINED BY DCR SPEC #12. ALSO, THERE IS AN AREA OF PERMEABLE PAVEMENT THAT HAS BEEN DESIGNED IN ACCORDANCE WITH DCR SPEC #7.
RESTORATION AND/OR STABILIZATION OF DEGRADED STREAMS ON DEVELOPMENT SITES SHOULD BE PURSUED WHERE FEASIBLE. RESTORATION AND STABILIZATION TECHNIQUES THAT INCORPORATE ECOLOGICALLY AND AESTHETICALLY BENEFICIAL VEGETATED APPROACHES ARE PREFERRED. ON-SITE EFFORTS TO RESTORE AND STABILIZE STREAMS IN TYSONS CORNER SHOULD ALSO BE ENCOURAGED. THE ABOVE GUIDELINES ARE INTENDED TO IMPROVE STORMWATER MANAGEMENT CONTROLS SUFFICIENTLY TO ALLOW FOR IMPROVEMENTS TO THE HABITAT AND RECREATIONAL VALUES OF STREAMS IN TYSONS CORNER THROUGH NATURAL RESTORATION PROCESSES AND/OR THROUGH RESTORATION PROJECTS.	THIS SUBJECT APPLICATION DOES NOT PROPOSE ANY STREAM RESTORATION AS IT HAS NOT OPEN CHANNELS OR STREAMS WITHIN ITS BOUNDARY. IT IS BELIEVED THAT ANY STREAM RESTORATION SHOULD BE COMPREHENSIVE IN NATURE AND DESIGN AND BE SUITABLE TO BETTER PROVIDE AESTHETIC AND RECREATIONAL VALUE TO TYSONS CORNER.

COMPREHENSIVE PLAN IMPLEMENTATION

THE TYSONS CORNER COMPREHENSIVE STORMWATER MANAGEMENT PLAN SHALL BE IMPLEMENTED VIA THE USE OF URBAN BIO-RETENTION (TREE PITS), RAIN GARDENS, SOIL AMENDMENTS, PERMEABLE PAVEMENT, AND INFILTRATION. THE ROADWAY ROW AND STREETSCAPE SHALL BE CONTROLLED, WHERE POSSIBLE, BY INFILTRATION AND TREE PITS THAT ARE STRATEGICALLY PLACED TO MAXIMIZE RUNOFF INTERCEPTION. EACH BUILDING'S ROOF AREA SHALL BE CONTROLLED BY A COMBINATION OF INFILTRATION AND STORMWATER PLANTERS. BELOW IS A BREAKDOWN OF THE IMPLEMENTATION ITEMS ON THE STORMWATER CONFORMANCE CHECKLIST:

- THE COMPUTATIONS PROVIDED ON SHEET C-12 CALCULATE THE REQUIRED TREATMENT VOLUME OF 1" OF RAINFALL OVER THE ENTIRE SITE CDP AREA REGARDLESS OF ROW DEDICATION.
- THIS SUBJECT APPLICATION PROPOSES NO NEW OR INNOVATIVE BMP'S NOT PREVIOUSLY IDENTIFIED BY THE COUNTY. THIS APPLICATION DOES NOT PROPOSE THE USE OF TIER 1 APPROACHES TO HELP CAPTURE/REUSE THE FIRST INCH OF RAINFALL. THE STORMWATER MANAGEMENT DESIGN FOR THIS SITE SHALL INCLUDE PRACTICES THAT ARE DOCUMENTED IN THE DCR RUNOFF REDUCTION MANUAL.
- ACCESS TO THE STORMWATER BMP FACILITIES SHALL BE PROVIDED FOR BY ROOF TOP ACCESS FOR THE STORMWATER PLANTERS AND STREET ACCESS FOR THE TREE PITS, INFILTRATION, SOIL AMENDMENTS, AND PERMEABLE PAVEMENT.
- THE TREE PITS, PERMEABLE PAVEMENT, INFILTRATION, STORMWATER PLANTERS, AND SOIL AMENDMENTS SHALL BE PRIVATELY MAINTAINED.
- THE DESIGN SHALL CREATE A SAFE ENVIRONMENT FOR THE PUBLIC. THE STORMWATER PLANTERS SHALL NOT HAVE PUBLIC ACCESS WHEREAS THE TREE PITS SHALL BE PROVIDED WITH A GRATE OR FENCE TO PREVENT PEDESTRIAN CONFLICTS AND AS MENTIONED PREVIOUSLY WHERE EXCESSIVE TRAFFIC IS EXPECTED BIO-RETENTION TREE PITS HAVE BEEN PROVIDED TO AVOID IMPEDING PEDESTRIAN MOVEMENT AND/OR CAUSE A SAFETY HAZARD.
- THIS PROJECT SHALL NOT BE CONSTRUCTED IN PHASES.
- CERTAIN PFM REQUIREMENTS SHALL NEED TO BE WAIVED IN ORDER TO MEET THE OVERALL CONCEPT OF THE PTC COMPREHENSIVE PLAN. A DETAILED LIST OF WAIVERS IS AS FOLLOWS:

- A MODIFICATION OF SECTION 12-2519 TO PERMIT A REDUCTION IN THE MINIMUM PLANTING AREA FROM EIGHT (8) FEET, TO A MINIMUM OF FOUR (4) FEET IN ORDER FOR TREES TO SATISFY THE TREE COVER REQUIREMENT. REFER TO THE LANDSCAPE PLANS HEREIN FOR A GRAPHIC OF THE PROPOSED PLANTING AREA.
- A WAIVER OF PFM SECTION 6-2022.8, TO ALLOW STORMWATER MANAGEMENT (SWM) AND BEST MANAGEMENT PRACTICES (BMP'S) TO BE PROVIDED WITHIN UNDERGROUND SYSTEMS WITHIN THE RESIDENTIAL BLOCK OF THE PROPOSED DEVELOPMENT. (SEPARATE WAIVER FILED 26630-WPFM-2011)
- ALL REQUIRED DEVIATIONS OF PFM SECTION 6-1324.3C TO ALLOW FOR INSTALLATION OF PERMEABLE PAVEMENT SYSTEMS THAT UTILIZE INFILTRATION TO BE CONSTRUCTED ON IN-SITU FILL MATERIAL. PROVIDED FIELD TESTS SHOW ADEQUATE INFILTRATION RATES EXIST FOR IN-SITU MATERIAL.
- ALL REQUIRED DEVIATIONS OF PFM SECTION 6-1324.2F TO SET THE MINIMUM HORIZONTAL SETBACKS FOR BOTH INFILTRATING AND NON-INFILTRATING SYSTEMS FROM BUILDING FOUNDATIONS BE REDUCED TO ZERO (0) FEET IN ORDER TO FACILITATE INSTALLATION OF PERMEABLE PAVEMENT IN AN URBAN ENVIRONMENT SET FORTH IN THE TYSONS CORNER DESIGN GUIDELINES.
- ALL REQUIRED DEVIATIONS OF PFM SECTION 6-1324.4I TO ALLOW UTILIZATION OF INFILTRATION RATES LESS THAN 0.2 IN/HR FOR DESIGN OF INFILTRATION SYSTEMS UTILIZED TO MEET THE COMPREHENSIVE PLAN REQUIREMENT FOR RETENTION OF THE FIRST 1" OF RUNOFF ON-SITE.
- ALL REQUIRED DEVIATIONS OF PFM SECTION 6-1327.2C TO ALLOW FOR INSTALLATION OF BIO-RETENTION FACILITIES THAT UTILIZE INFILTRATION TO BE CONSTRUCTED ON IN-SITU FILL MATERIAL. PROVIDED FIELD TESTS SHOW ADEQUATE INFILTRATION RATES EXIST FOR IN-SITU MATERIAL.
- ALL REQUIRED DEVIATIONS OF PFM SECTION 6-1327.2E TO SET THE MINIMUM HORIZONTAL SETBACKS FROM BUILDING FOUNDATIONS BE REDUCED TO SIX (6) FEET IN ORDER TO FACILITATE INSTALLATION OF BIO-RETENTION SYSTEMS IN AN URBAN ENVIRONMENT SET FORTH IN THE TYSONS CORNER DESIGN GUIDELINES.
- ALL REQUIRED DEVIATIONS OF PFM SECTION 6-1327.2F TO ALLOW INSTALLATION OF BIO-RETENTION FACILITIES IN THE VICINITY OF LOADING DOCKS, VEHICLE MAINTENANCE AREAS OR OUTDOOR STORAGE AREAS TO ACCOMMODATE THE URBAN ENVIRONMENT SET FORTH IN THE TYSONS CORNER DESIGN GUIDELINES.
- ALL REQUIRED DEVIATIONS OF PFM SECTION 6-1328.2C TO ALLOW INSTALLATION OF TREE BOX FILTERS IN THE VICINITY OF LOADING DOCKS, VEHICLE MAINTENANCE AREAS OR OUTDOOR STORAGE AREAS TO ACCOMMODATE THE URBAN ENVIRONMENT SET FORTH IN THE TYSONS CORNER DESIGN GUIDELINES.
- POTENTIAL SWM/LEED VAULT(S) AND/OR RAINWATER HARVESTING CISTERN SHALL NOT ADVERSELY IMPACT LANDSCAPING OR THE SIDEWALK ZONE.
- A 4'X4' ACCESS DOOR SHALL BE PROVIDED FOR THE VAULT MAINTENANCE.

DESIGN OF BEST MANAGEMENT PRACTICES

- INFILTRATION BMP'S**
PERMEABLE PAVEMENT AND INFILTRATION TRENCHES HAVE BEEN PROVIDED WITH THIS PLAN. A SOL ANALYSIS SHALL BE PERFORMED PRIOR TO SITE PLAN TO DETERMINE THE SUITABILITY OF THE INFILTRATION FACILITY. AS CAN BE SEEN ON THIS SHEET A WAIVER FOR CONSTRUCTION ON FILL MATERIAL, POSSIBLE INFILTRATION RATE OF LESS THAN 0.2 IN/HR, AND HORIZONTAL SETBACK FROM BUILDING FOUNDATION SHALL BE REQUIRED. THESE WAIVERS ARE NEEDED IN ORDER TO HELP MEET THE REQUIREMENTS OF THE TYSONS CORNER COMPREHENSIVE PLAN STORMWATER REQUIREMENTS OF RETAINING THE FIRST 1" OF RAINFALL. THIS INFILTRATION FACILITY SHALL ONLY CAPTURE A PORTION OF THE FIRST 1" OF RAINFALL. THIS PLAN PROPOSES THE USE OF VEGETATIVE ROOFS, STORMWATER PLANTERS AND URBAN BIO-RETENTION (TREE PITS), AND SOIL AMENDMENTS TO HELP MAXIMIZE THE AMOUNT OF RAINFALL CAPTURED.
- RAINWATER HARVESTING**
RAINWATER HARVESTING HAS BEEN PROVIDED AND PRELIMINARY SWM COMPUTATIONS HAVE BEEN SHOWN ON SHEET C-12.
- RUNOFF REDUCTION PRACTICES**
THE PROPOSED RUNOFF REDUCTION PRACTICES SHALL INCLUDE PERMEABLE PAVEMENT, RAINWATER HARVESTING, AND URBAN BIO-RETENTION (TREE PITS). BELOW IS A BREAKDOWN OF THE RUNOFF REDUCTION PRACTICES ITEMS ON THE STORMWATER CONFORMANCE CHECKLIST:
 - RUNOFF REDUCTION BMP'S IN THE FORM OF URBAN BIO-RETENTION (TREE PITS) SHALL BE PROVIDED WITH UNDER-GRANIS (AS REQUIRED) AND A SUBSURFACE STONE LAYER AS DETAILED IN DCR SPEC #12.
 - BOTH THE BIO-RETENTION TREE PITS SHALL CONFORM TO DCR SPEC #12. THE PERMEABLE PAVEMENT SHALL CONFORM TO DCR SPEC #7.
 - AS MENTIONED EARLIER THE ENTIRE 1.5" OF RAINFALL HAS BEEN CAPTURED/CONTROLLED. THE PROPOSED PLANS ACCOUNTS FOR 1.04" (1.23" WHEN CONSIDERING THE LEED EVENT) AS CAN BE SEEN ON THE TYSONS STORMWATER CONFORMANCE SPREADSHEET (SEE SHEET C-12).
- TIER 1 INNOVATIVE BMP'S ACCEPTED IN OTHER JURISDICTIONS**
THERE ARE NO TIER 1 NEW OR INNOVATIVE BMP'S BEING PROPOSED WITH THIS SUBJECT APPLICATION. AS MENTIONED PREVIOUSLY SITE CONSTRAINTS LIMIT THE APPLICABILITY OF VARIOUS BMP PRACTICES.
- TIER 2 INNOVATIVE BMP'S (NON-APPROVED)**
NO TIER 2 APPROACHES ARE PROPOSED.
- OFF-SITE OR SHARED FACILITIES**
CURRENTLY THE SUBJECT APPLICATION DOES PROPOSE THE USE OF OFF-SITE FACILITIES IN THE FORM OF TREATING EXISTING ROW ALONG THE SITE FRONTAGE WITH JONES BRANCH ROAD TO HELP MEET THE REQUIREMENTS OF THE TYSONS CORNER COMPREHENSIVE PLAN HOWEVER, THERE ARE NO SHARED SWM FACILITIES PROPOSED. AS MENTIONED ABOVE, THE APPLICATION RESERVES THE RIGHT TO IMPLEMENT ADDITIONAL OFF-SITE TREATMENT IN THE FORM OF ON-SITE TREATMENT OF EXISTING PLOT ROW AT SITE PLAN TIME.
- CONFORMANCE WITH COMPREHENSIVE PLAN STORMWATER GOALS**
IT IS THE BELIEF OF THE UNDERSIGNED ENGINEER THAT THIS SITE PLAN ADEQUATELY HANDLES TO THE MAXIMUM EXTENT POSSIBLE, THE RUNOFF REDUCTION REQUIREMENTS OF THE TYSONS CORNER COMPREHENSIVE PLAN. BELOW IS SUMMARY OF THE RUNOFF REDUCTION PRACTICES UTILIZED IN THE STORMWATER MANAGEMENT PLAN AND THEIR CONFORMANCE TO THE OVERALL GOAL OF THE COMPREHENSIVE STORMWATER MANAGEMENT PLAN FOR THIS SUBJECT APPLICATION.
- THIS SUBJECT APPLICATION PROPOSES TO CONTROL, CAPTURE, TO THE MAXIMUM EXTENT PRACTICABLE, THE FIRST 1.5" OF THE ACTUAL AMOUNT CONTROLLED IS 1.23" WHEN CONSIDERING THE LEED EVENT) OF RAINFALL.
- THIS PROPOSED DESIGN SHALL OPTIMIZE, TO THE MAXIMUM EXTENT FEASIBLE, RUNOFF REDUCTION VIA THE EMPLOYMENT OF VEGETATIVE ROOFS, PERMEABLE PAVEMENT, INFILTRATION, SOIL AMENDMENTS, STORMWATER PLANTERS, AND URBAN BIO-RETENTION (TREE PITS). 91% OF THE TOTAL SITE AREA IS CAPTURED ALONG WITH 1.04" (THE ACTUAL AMOUNT CONTROLLED IS 1.23" WHEN CONSIDERING THE LEED EVENT) OF THE FIRST 1 INCH OF RAINFALL.
- AS MENTIONED PREVIOUSLY SITE CONSTRAINTS HAVE LIMITED THE USE OF MANY BMP'S PRACTICES (DISCONNECT, ETC.)
- THE PROPOSED DESIGN DOES HELP CONTROL PEAK FLOW BY REDUCING THE RUNOFF VOLUME AND AS SUCH THE PEAK DISCHARGE IS REDUCED. ADDITIONALLY, PEAK RELEASE RATE FOR THE SUBJECT SITE ARE CONTROLLED BY EXISTING WET POND "C" WHICH HAS BEEN DESIGNED TO ACCOUNT FOR THE INTENSITY OF THIS DEVELOPMENT.
- STREET RUNOFF HAS BEEN ADDRESSED VIA THE USE OF URBAN BIO-RETENTION (TREE PITS) THAT ARE DESIGNED IN ACCORDANCE WITH DCR SPEC #12 AND PERMEABLE PAVEMENT DESIGNED IN ACCORDANCE WITH DCR SPEC #7 AS WELL AS INFILTRATION DESIGNED IN ACCORDANCE WITH DCR SPEC #12.
- STREAM STABILIZATION AND RESTORATION HAS NOT BEEN PROPOSED WITH THIS SUBJECT APPLICATION DUE TO THE NEED OF A COMPREHENSIVE STREAM RESTORATION PROGRAM.
- THIS SUBJECT APPLICATION SHALL CONFORM TO THE PFM'S SWM REQUIREMENTS FOR ADEQUATE OUTFALL, DETENTION, WATER QUALITY, AND OVERLAND RELIEF. SEE SHEETS C-12 THRU C-17 FOR DETAILS.
- SUPPLEMENTAL INFORMATION/JUSTIFICATION REQUEST**

WHILE IT IS NOT PRACTICABLE TO RETAIN ALL OF THE SUBJECT SITE, INCLUDING AREAS OF THE SITE PERIPHERY, DUE TO VARIOUS CONSTRAINTS INCLUDING SITE GRADING, OTHER COMPREHENSIVE PLAN REQUIREMENTS, AND VDOT REQUIREMENTS, COMPLIANCE WITH THE COMPREHENSIVE PLAN GOAL FOR CAPTURING/RETAINING THE FIRST 1 INCH RAIN EVENT CAN NOT BE MET EVEN WITH CAPTURING OFF-SITE AREAS. IF THE RUNOFF REDUCTION MEASURES AND/OR COMPUTATIONS SHOWN HEREIN ARE NOT APPROVED BY DPWS, THE APPLICANT WILL WORK WITH THE COUNTY TO RETAIN THE FIRST 1 INCH OF RAINFALL TO THE EXTENT PRACTICABLE IN ACCORDANCE WITH THE COMPREHENSIVE PLAN GOAL.

IN FURTHERANCE OF THE APPLICANT'S COMMITMENTS HEREIN AND WHILE IT TENDS TO MEET THE 1-INCH RETENTION GOAL USING THE TECHNIQUES SHOWN, IT RESERVES THE RIGHT TO UTILIZE ANY COMBINATION OF LID (EXISTING AND FUTURE) MEASURES TO MEET THIS GOAL SUBJECT TO THE REVIEW AND APPROVAL OF DPWS AT TIME OF SITE PLAN.

RECOGNIZING THAT RUNOFF REDUCTION TECHNOLOGIES ARE RELATIVELY NEW AND STILL EVOLVING, THE APPLICANT'S FINAL DESIGN DEVELOPMENT AND/OR DPWS COMMENTS ON THE SITE PLAN MAY RESULT IN CHANGES TO THE LID MEASURES SHOWN ON THE CDP AND/OR FOP, INCLUDING, BUT NOT LIMITED TO, ELIMINATION OR ADDITION OF MEASURES SO LONG AS THESE CHANGES DO NOT AFFECT THE GRID OF STREETS, THE GENERAL LOCATION OF THE POINTS OF ACCESS TO EACH BLOCK, THE GENERAL LOCATION OF THE BUILDINGS, THE BUILD-TO LINES, THE MINIMUM AMOUNT AND GENERAL LOCATION OF PUBLICLY ACCESS URBAN PARK LINES AS MAY BE APPLICABLE FOR EACH BLOCK AND THE GENERAL QUALITY AND CHARACTER OF THE STREETSCAPE ALONG THE PUBLIC AND PRIVATE STREETS WITHIN AND ADJUTING THE SUBJECT PROPERTY AND AS OTHERWISE SPECIFIED IN THE PROFFERS.



VIKA
1000 N. 10TH ST., SUITE 100
FAIRFAX, VA 22033
TEL: 703.261.1111
WWW.VIKACORP.COM

7915 JONES BRANCH
DRIVE
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

STORMWATER
MANAGEMENT
NARRATIVES

VIKA REVISIONS

REV.	DATE	DESCRIPTION
REV. 10/22/14		
REV. 08/21/14		
REV. 07/16/14		
REV. 05/15/14		
REV. 02/03/14		
INITIAL SUB. 12/18/13		
DES.	DC	DWN.
SCALE	N/A	
PROJECT/FILE NO.	WV338F	
SHEET NO.	C-16	

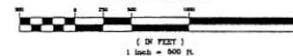


Worksheet for Reach 3			
Project Description			
Project Method	Manning Formula		
Series For	Normal Depth		
Input Data			
Channel Slope	0.0240	N/A	
Discharge	138.50	CFS	
Section Definitions			
Station (ft)	Elevation (ft)		
0+00	321.80		
0+10	321.11		
0+20	321.18		
0+30	321.72		
Roughness Segment Definitions			
Start Station	Ending Station	Roughness Coefficient	
0+00 to 0+10	0+10 to 0+20	0.024	
Options			
Compute roughness segments	Parabolic Method		
Open Channel Weighing Method	Parabolic Method		
Closed Channel Weighing Method	Parabolic Method		
Results			
Normal Depth	227.11 to 321.80	2.34	ft
Channel Slope		1.22	%
Flow Area		1.87	sq ft
Velocity		1.48	ft/s
Top Width		9.78	ft
Normal Depth		2.34	ft
Channel Slope		0.0240	N/A
Velocity		1.48	ft/s
Specific Energy		5.71	ft
Friction Head		1.51	ft
Flow Type	Subcritical		

Worksheet for Reach 4			
Project Description			
Project Method	Manning Formula		
Series For	Normal Depth		
Input Data			
Channel Slope	0.0240	N/A	
Discharge	138.50	CFS	
Section Definitions			
Station (ft)	Elevation (ft)		
0+00	321.78		
0+10	319.77		
0+20	320.72		
0+30	320.43		
0+40	320.38		
0+50	319.57		
Roughness Segment Definitions			
Start Station	Ending Station	Roughness Coefficient	
0+00 to 0+10	0+10 to 0+20	0.024	
0+20 to 0+30	0+30 to 0+40	0.024	
0+40 to 0+50	0+50 to 0+60	0.024	
Options			
Compute roughness segments	Parabolic Method		
Open Channel Weighing Method	Parabolic Method		
Closed Channel Weighing Method	Parabolic Method		
Results			
Normal Depth	228.53 to 319.57	1.81	ft
Channel Slope		1.22	%
Flow Area		10.83	sq ft
Velocity		12.26	ft/s
Top Width		9.87	ft
Normal Depth		1.81	ft
Channel Slope		0.0240	N/A
Velocity		12.26	ft/s
Specific Energy		2.80	ft
Friction Head		1.42	ft
Flow Type	Subcritical		



GRAPHIC SCALE



LEGEND

- OPEN CHANNEL
- PIPE
- *** OVERALL WATERSHED

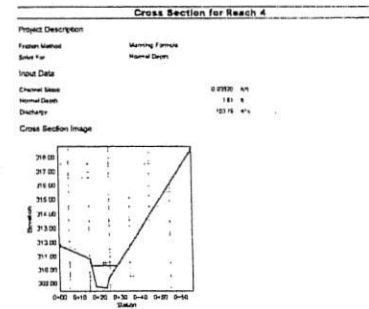
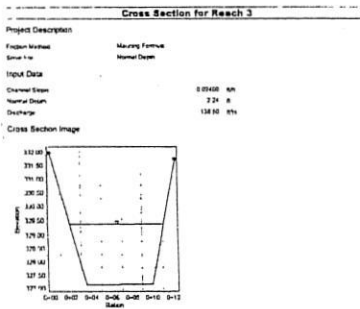
ADEQUATE OUTFALL NARRATIVE

THE SUBJECT PROPERTY (5.75 ACRES) IS IDENTIFIED ON THE FAIRFAX COUNTY TAX ASSESSMENT MAP AS 29-4-(07)-6 AND PART OF 7B, AND IS LOCATED IN THE TYSONS CORNER AREA. THE SUBJECT PROPERTY IS BORDERED BY JONES BRANCH DRIVE TO THE EAST AND OFFICE DEVELOPMENT TO THE NORTH, SOUTH, AND WEST. THERE ARE TWO OUTFALLS ASSOCIATED WITH THIS SITE.

THE MAJORITY OF THE ONSITE WATER FLOWS TO THE WEST, WHERE IT LEAVES THE PROPERTY VIA AN EXISTING CLOSED CONDUIT SYSTEM AND DISCHARGES INTO EXISTING WET POND 'A'. FROM HERE IT DISCHARGES INTO A FLOOD PLAIN (OPEN CHANNEL) WHERE IT IS THEN CONVEYED INTO EXISTING WET POND 'B'. FROM HERE IT IS DISCHARGED VIA A COMBINATION OF OPEN CHANNELS AND CLOSED CONDUIT SYSTEMS INTO EXISTING WET POND 'C'. FROM POND 'C' IT OUTFALLS ACROSS THE DULLES AIRPORT ACCESS ROAD VIA MULTIPLE CULVERTS AND THEN ULTIMATELY TO POINT A WHERE IT JOINS SCOTTS RUN. AT THIS POINT THE APPROXIMATE DRAINAGE AREA IS 750 ACRES, SATISFYING THE FAIRFAX COUNTY ZONING ORDINANCE REQUIREMENT FOR THE REQUIREMENT OF THE DESCRIPTION OF THE OUTFALL, TO A POINT HAVING AT LEAST 100 TIMES THE SITE AREA OR 640 ACRES. PLEASE NOTE THAT AT SITE PLAN IT IS ANTICIPATED THE EXTENT OF THE ADEQUATE OUTFALL REVIEW SHALL BE TO A POINT WHICH REPRESENTS A CONFLUENCE OF 90% OR MORE PER PPM 6-0203.2A. DENOTED AS POINT A1. SEE MAP ON THIS SHEET FOR APPROXIMATE LOCATION.

THE SECOND OUTFALL FOR THE SITE IS A SMALL PORTION OF THE EASTERN BOUNDARY. THE DISCHARGE FROM THIS AREA IS CONVEYED INTO AN EXISTING CLOSED CONDUIT SYSTEM THAT FOLLOWS JONES BRANCH DRIVE AND OUTFALLS INTO EXISTING POND 'C'. AT POND 'C' THIS RUNOFF IS JOINED BY THE RUNOFF FROM THE FIRST OUTFALL AND FLOWS ULTIMATELY TO POINT A. PLEASE NOTE THAT AT SITE PLAN TIME IT IS ANTICIPATED THE EXTENT OF THE ADEQUATE OUTFALL REVIEW SHALL BE TO POINT A2 WHICH REPRESENTS A CONFLUENCE OF 90% OR MORE PER PPM 6-0203.2A. SEE MAP ON THIS SHEET FOR APPROXIMATE LOCATION.

AS THE COMPUTATIONS PROVIDED ABOVE DEMONSTRATE THE TWO OPEN NATURAL CHANNELS LOCATED DOWNSTREAM OF THIS APPLICATION HAVE ADEQUATE CAPACITY TO CONVEY THE REQUIRED 2-YEAR STORM, HOWEVER IT APPEARS THAT EROSION VELOCITIES MAY BE PRESENT AND THEREFORE, AT FINAL SITE PLAN, POTENTIAL STREAM CHANNEL IMPROVEMENTS MAY BE REQUIRED TO STABILIZE THE CHANNELS TO MEET THE REQUIREMENTS OF THE PPM.



7915 JONES BRANCH DRIVE
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

ADEQUATE OUTFALL MAP

VKA REVISIONS

REV.	DATE	DESCRIPTION
REV. 10/02/14		
REV. 08/21/14		
REV. 07/15/14		
REV. 05/15/14		
REV. 02/03/14		
INITIAL SUB. 12/18/13		

SCALE: AS SHOWN

PROJECT/TITLE NO.
VVT388F

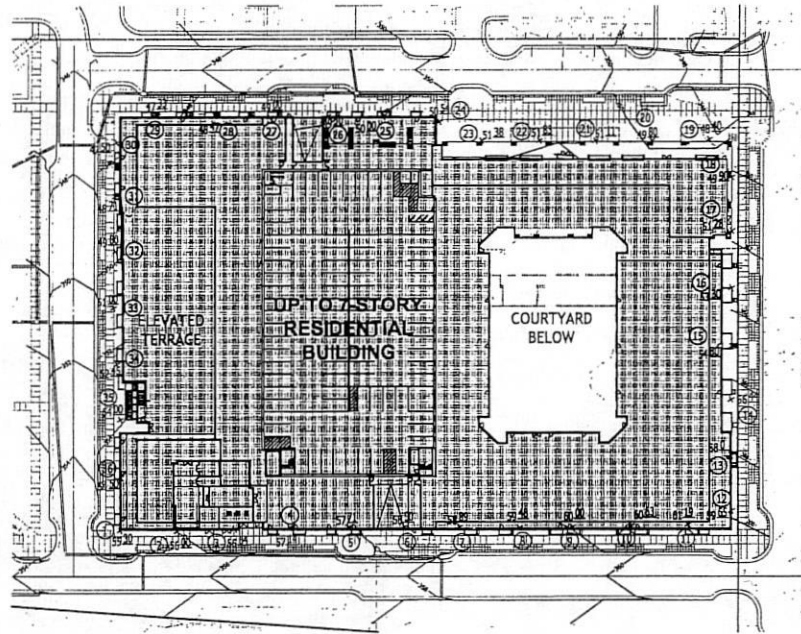
SHEET NO. C-17

PROJECT: 7915 JONES BRANCH DRIVE
AVERAGE GRADE COMPUTATION

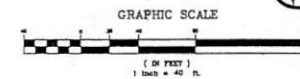
AVERAGE GRADE = 353.67

NUMBER OF SPOTS = 36
GRADE SUM = 12732.17

SPOT #	GRADE	SPOT #	GRADE
1	355.30	28	348.47
2	356.00	29	347.33
3	356.64	30	347.50
4	357.14	31	348.71
5	357.71	32	349.80
6	358.50	33	351.00
7	358.89	34	352.45
8	359.48	35	354.00
9	360.00	36	354.50
10	360.63		
11	361.19		
12	359.65		
13	358.00		
14	356.44		
15	354.80		
16	355.30		
17	351.28		
18	349.90		
19	348.40		
20	349.80		
21	351.11		
22	351.83		
23	351.38		
24	350.54		
25	350.00		
26	349.50		
27	349.00		



G = +/- 353.67'



7915 JONES BRANCH
DRIVE
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

AVERAGE GRADE
CALCULATION EXHIBIT

VIFA REVISIONS

REV	10/02/14
REV	08/21/14
REV	07/16/14
REV	05/19/14
REV	02/05/14
INITIAL SUB	12/18/13
DES.	RAC
DWN	DM
SCALE:	1"=40'
PROJECT/FILE NO.	WV2388F
SHEET NO.	C-18

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CDP/FDP REV.	2014-07-16
CDP/FDP REV.	2014-08-21
CDP/FDP REV.	2014-10-02

CONSULTANT

OWNER / DEVELOPER
Amherst Property LLC

1751 Pinnacle Drive #700
McLean, VA 22102

PROJECT NAME
7915 Jones Branch Drive

PROJECT ADDRESS
7915 Jones Branch Drive, McLean Virginia

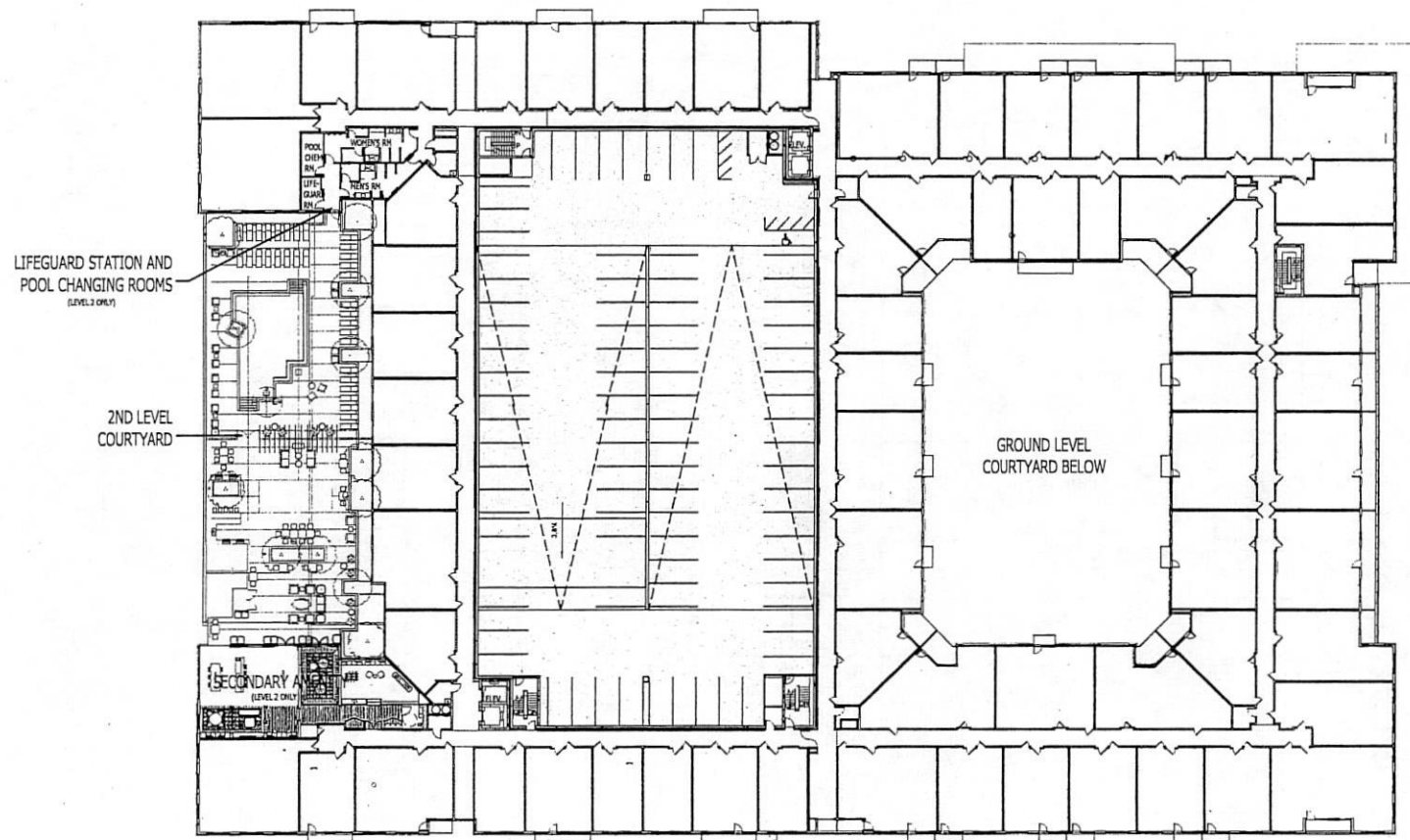
PROJECT MANAGEMENT
DCI Project No. 832-13
Owner Project No. 190
Drawn By: Author Checked By: Checker

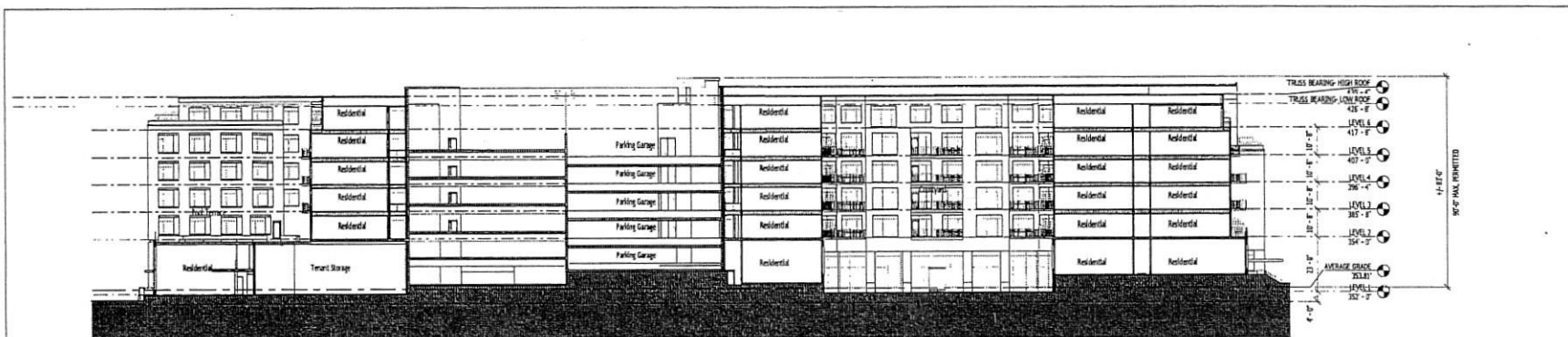


SHEET TITLE
TYPICAL LEVEL

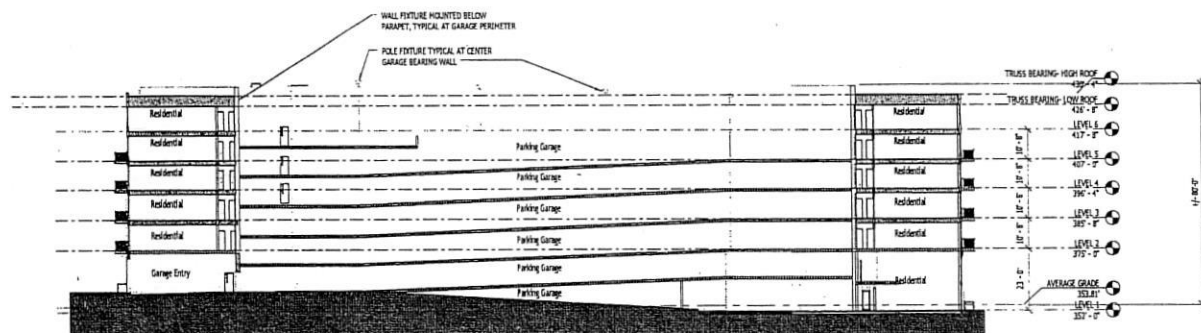
SCALE
1" = 20'-0"

SHEET NUMBER
A-1.2





1 SECTION - LONGITUDINAL
1" = 20'-0"



2 SECTION - CROSS
1" = 20'-0"

DESIGN COLLECTIVE
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601 EAST PRATT STREET, SUITE 300
BALTIMORE, MARYLAND 21202
T: 410.883.4655 F: 410.336.6444
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CDP/FDP REV.	2014-07-16
CDP/FDP REV.	2014-08-21
CDP/FDP REV.	2014-10-02

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McLean, VA 22102

PROJECT NAME
7915 Jones Branch Drive

PROJECT ADDRESS
7915 Jones Branch Drive, McLean Virginia

PROJECT MANAGEMENT
DQ Project No. 832-13
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SHEET TITLE
BUILDING SECTIONS

SCALE
1" = 20'-0"
SHEET NUMBER

A-2.0

ISSUED FOR	DATE
INITIAL CDP / FDP	2013-12-18
SUBMISSION	
CDP/FDP REV.	2014-02-03
CDP/FDP REV.	2014-05-16
CDP/FDP REV.	2014-07-16
CDP/FDP REV.	2014-08-21
CDP/FDP REV.	2014-10-02

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Amherst Property LLC

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McLean, VA 22102

PROJECT NAME
7915 Jones Branch Drive

PROJECT ADDRESS
7915 Jones Branch Drive, McLean Virginia

PROJECT MANAGEMENT
DC Project No. 832-13
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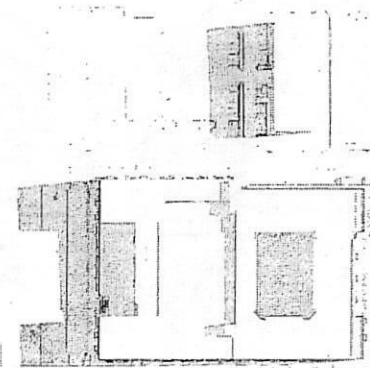


SHEET TITLE
SHADOW STUDY -
MARCH/SEPTEMBER

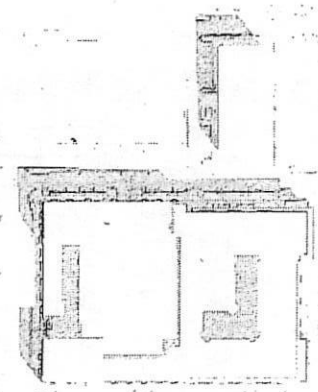
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SHEET NUMBER

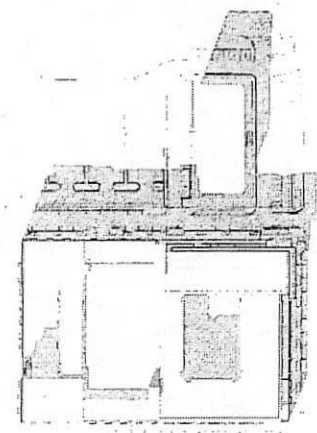
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MARCH/SEPTEMBER - 9 AM

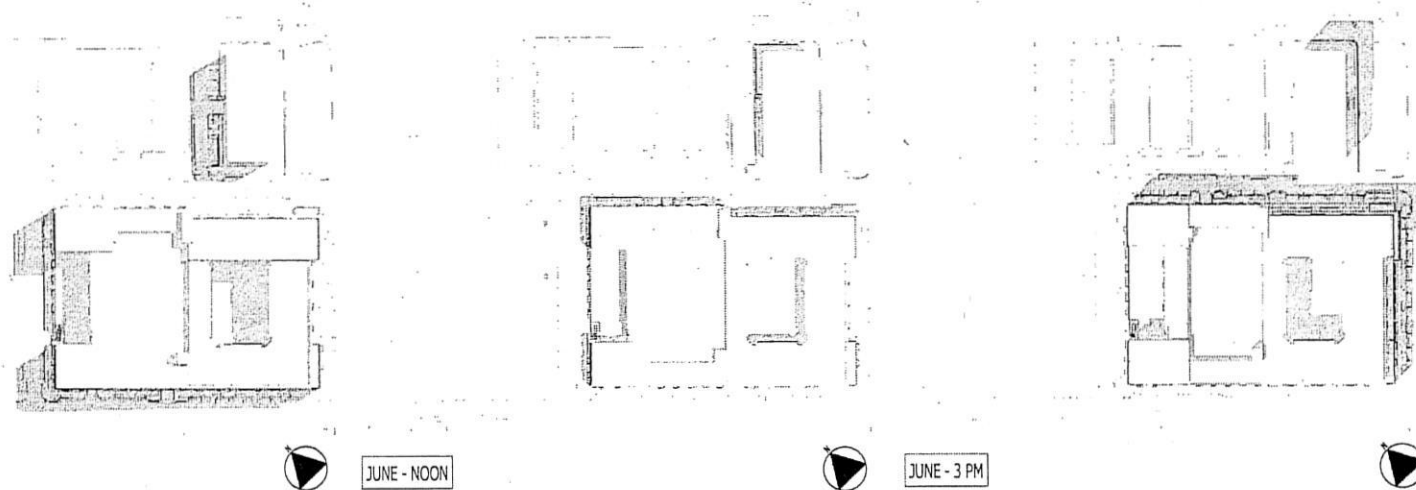


MARCH/SEPTEMBER - NOON



MARCH/SEPTEMBER - 3 PM





JUNE - 9 AM

JUNE - NOON

JUNE - 3 PM

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BALTIMORE, MARYLAND 11202
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CDP/FDP REV.	2014-07-16
CDP/FDP REV.	2014-08-21
CDP/FDP REV.	2014-10-02

CONSULTANT

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1751 Pinnacle Drive #700
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PROJECT ADDRESS
7915 Jones Branch Drive, McLean Virginia

PROJECT MANAGEMENT
DCI Project No. 832-13
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SHEET TITLE
SHADOW STUDY - JUNE

SCALE

SHEET NUMBER

A-3.1

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CDP/POP REV.	2014-07-16
CDP/POP REV.	2014-08-21
CDP/POP REV.	2014-10-02

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OWNER / DEVELOPER
 Amherst Property LLC

1751 Pinnacle Drive #700
 McLean, VA 22102

PROJECT NAME
 7915 Jones Branch Drive
 Drive

PROJECT ADDRESS
 7915 Jones Branch Drive, McLean Virginia

PROJECT MANAGEMENT
 DGI Project No. 832-13
 Owner Project No. 190
 Drawn By: Author Checked By: checker



SHEET TITLE
 SHADOW STUDY -
 DECEMBER

SCALE

SHEET NUMBER

A-3.2



ISSUED FOR	DATE
INITIAL CDP / FDP	2013-12-18
SUBMISSION	
CDP/FDP REV.	2014-02-03
CDP/FDP REV.	2014-05-16
CDP/FDP REV.	2014-07-16
CDP/FDP REV.	2014-08-21
CDP/FDP REV.	2014-10-02

CONSULTANT

OWNER / DEVELOPER
Amherst Property LLC

1751 Pinnacle Drive #700
 McLean, VA 22102

PROJECT NAME
7915 Jones Branch Drive

PROJECT ADDRESS
 7915 Jones Branch Drive, McLean Virginia

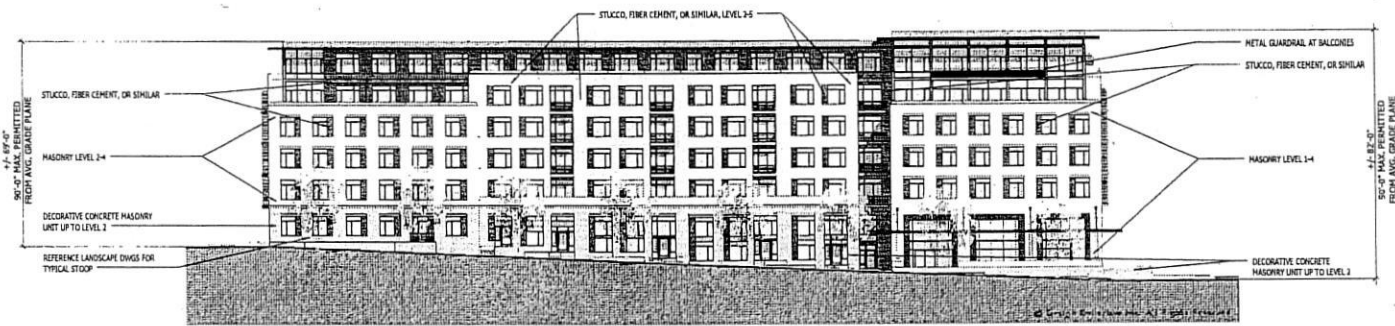
PROJECT MANAGEMENT
 DC Project No. 832-13
 Owner Project No. 190
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SHEET TITLE
ELEVATIONS

SCALE
1" = 20'-0"
 SHEET NUMBER

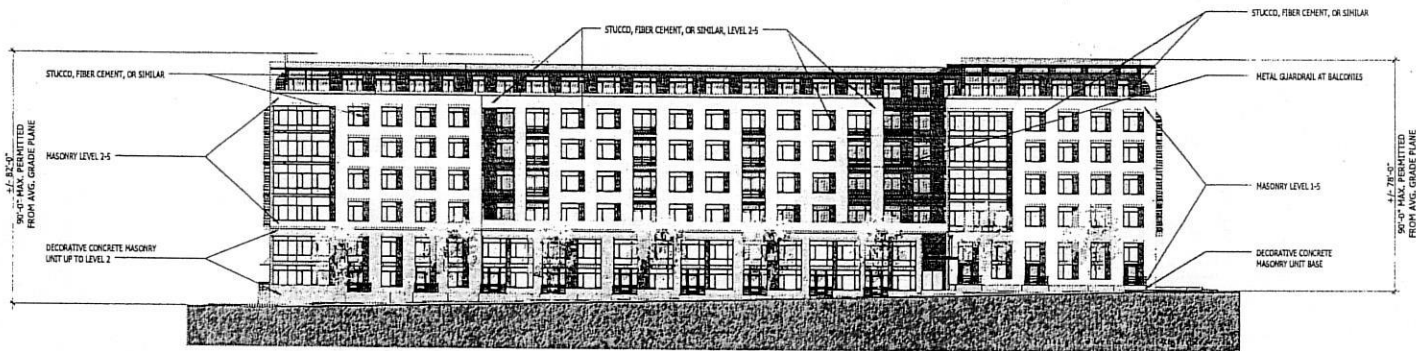
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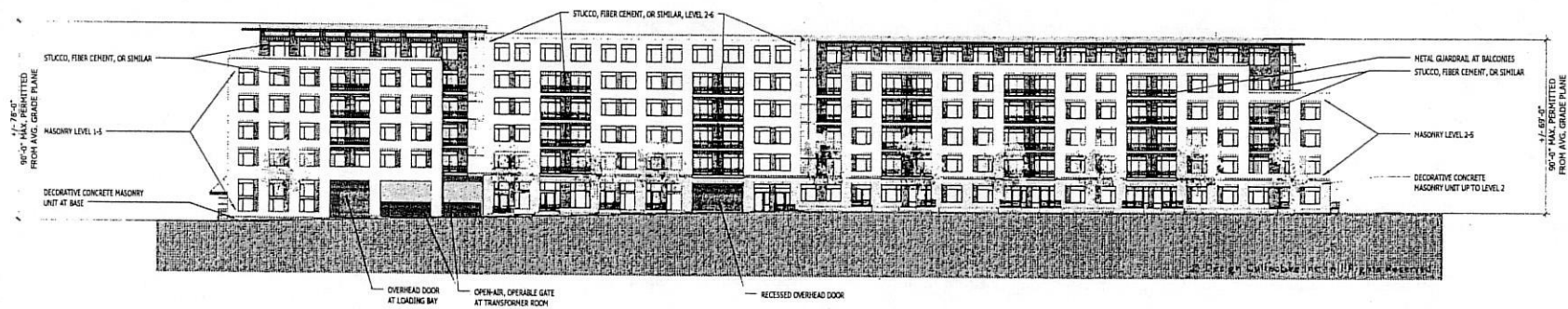
1 ELEVATION - EAST (JONES BRANCH)
 1/4" = 20'-0"



2 ELEVATION - NORTH (STREET A)
 1/4" = 20'-0"



1 ELEVATION - WEST (STREET B)
1" = 20'-0"



2 ELEVATION - SOUTH (STREET C)
1" = 20'-0"

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CDP/POP REV.	2014-05-16
CDP/POP REV.	2014-07-16
CDP/POP REV.	2014-08-21
CDP/POP REV.	2014-10-02

CONSULTANT

OWNER/DEVELOPER
Amherst Property LLC

1751 Pinnacle Drive #700
McLean, VA 22102

PROJECT NAME
7915 Jones Branch Drive

PROJECT ADDRESS
7915 Jones Branch Drive, McLean Virginia

PROJECT MANAGEMENT
DCJ Project No. 832-13
Owner Project No. 190
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SHEET TITLE
ELEVATIONS

SCALE
1" = 20'-0"
SHEET NUMBER

A-4.1



ENTRY VIEW FROM JONES BRANCH DRIVE
A4.0/ 12' x 12'



VIEW FROM PARK
A4.0/ 12' x 12'

FOR ILLUSTRATIVE PURPOSES ONLY

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ISSUED FOR	DATE
INITIAL CDP / FDP	2011-12-18
SUBMISSION	
CDP/FDP REV.	2014-02-03
CDP/FDP REV.	2014-03-16
CDP/FDP REV.	2014-07-16
CDP/FDP REV.	2014-08-21
CDP/FDP REV.	2014-10-02

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Amherst Property LLC

1751 Pinnacle Drive #700
McLean, VA 22102

PROJECT NAME
7915 Jones Branch Drive

PROJECT ADDRESS
7915 Jones Branch Drive, McLean Virginia

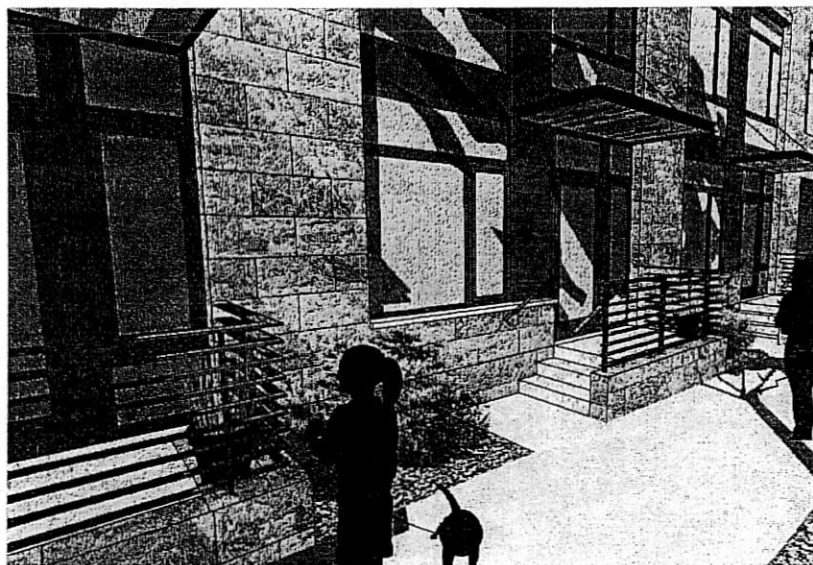
PROJECT MANAGEMENT
DCI Project No. 832-13
Owner Project No. 190
Drawn By: Author Checked By: Checker



SHEET TITLE
VIEWS

SCALE
As indicated
SHEET NUMBER

A-5.0



VIEW OF TYPICAL STOOP
6" = 1'-0"

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ISSUE NO.	DATE
CD/PER REV.	2014-05-16
CD/PER REV.	2014-07-16
CD/PER REV.	2014-08-21
CD/PER REV.	2014-10-02

CONSULTANT

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1751 Pinnacle Drive #700
McLean, VA 22102

PROJECT NAME
7915 Jones Branch Drive

PROJECT ADDRESS
7915 Jones Branch Drive, McLean Virginia

PROJECT MANAGEMENT
DCI Project No. 832-13
Owner Project No. 190
Drawn By: Author Checked By: Checker



SHEET TITLE
VIEWS

SCALE
6" = 1'-0"

FOR ILLUSTRATIVE PURPOSES ONLY

SHEET NUMBER
A-5.1

LANDSCAPE SHEET LIST

10.00 - COVERSHEET / OVERALL SITE PLAN
10.01 - OVERALL SITE HIERARCHY PLAN

11.00 - ILLUSTRATIVE PLAN
11.01 - LANDSCAPE PLAN
11.02 - HARDSCAPE PLAN

12.01 - STREETSCAPE ENLARGEMENTS / DETAILS
12.02 - STREETSCAPE ENLARGEMENTS / DETAILS
12.03 - PARK ENLARGEMENTS / PRECEDENT IMAGES
12.04 - DECK ENLARGEMENTS / SECTIONS
12.05 - PARK SECTIONS / ELEVATIONS
12.06 - COURTYARD / ROOF TERRACE ENLARGEMENTS
12.07 - ROOF TERRACE SECTIONS
12.08 - COURTYARD LONGITUDINAL SECTIONS
12.09 - COURTYARD CROSS SECTIONS

13.01 - SITE FURNISHINGS

EXISTING TREES TO REMAIN, TYP.
(SEE CIVIL DWGS FOR TREE
PRESERVATION CANOPY
COVERAGE INFORMATION)

PARK
SEE SHEET 11.01 FOR
FOOT MATERIAL

UP TO 10 STORIES
RESIDENTIAL BUILDING

- LEGEND
- EXISTING TREES TO REMAIN
(SEE CIVIL DWGS)
 - EXISTING TREES TO BE REMOVED
(SEE CIVIL DWGS)
 - PROPOSED TREE TO BE COUNTED
TOWARDS 10-YEAR TREE CANOPY CALC.
 - PROPOSED TREE TO BE COUNTED
TOWARDS 10-YEAR TREE CANOPY CALC.
AND 5% OF INTERIOR PARKING LOT
LANDSCAPING CALC. (14 TREES TOTAL
TOWARDS 10-YEAR TREE CANOPY CALC.)
(SEE SHEET 11.01 FOR PLANT SCHEDULE)

GENERAL LANDSCAPE NOTES:

- THE PROPOSED LANDSCAPE WILL BE USED TO MEET THE MINIMUM TREE COVER REQUIREMENTS. LOCATIONS, SPECIES AND QUANTITIES MAY BE ADJUSTED WITH FINAL DESIGN.
- UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE. FINAL LOCATIONS TO BE DETERMINED AT SITE PLAN.
- ALL STREET LEVEL TREES ARE PLANTED ON GRADE UNLESS OTHERWISE NOTED.
- THE PLANT AND MANGERY SHOWN MAY BE MODIFIED WITH FINAL ENGINEERING AND DESIGN, PROVIDED THAT THE GENERAL DESIGN QUALITY AND CHARACTERISTICS ARE IN SUBSTANTIAL CONFORMANCE WITH THAT WHICH IS SHOWN.
- REFER TO SHEET 11.01 FOR ALL REMAINING TREES FOR OFFSITE DOGPARK/METRO CONNECTOR, CHSITE PARK, ROOF TERRACE, AND COURTYARD

TOTAL PARKING COMPOUND AREA = 48,113 SQ. FT.

PARKING COMPOUND EXHIBIT FOR INTERIOR PARKING COMPUTATION
PAGE 1 OF 2

PLANTING SCHEDULE FOR 10-YEAR TREE CANOPY COVERAGE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	TREE CATEGORY	10-YR TREE CANOPY FT ²	TREE CANOPY SUB-TOTAL FT ²	BENEFIT TYPE	BENEFIT MULTIPLIER PER SQ. FT.	TREE CANOPY WITH BENEFITS	COMMENTS
Streetscape												
GT	18	Gleditsia triacanthos inermis	Thornless Honeylocust	3" col.	B&S	III	175	3150	NONE	0	3150	full branching, single leader
PA	13	Platanus x acerifolia Bloodgood	London Planetree	3" col.	B&S	IV	250	3250	WATER QUALITY	1.25 (50 FT.)	4063	full branching, single leader
QR	8	Quercus rubra	Red Oak	3" col.	B&S	IV	250	2000	WILDLIFE	1.5 (50 FT.)	3000	full branching, single leader
ZS	24	Zelkova serrata Village Green	Japanese Zelkova	3" col.	B&S	IV	250	6000	AIR QUALITY	1.5 (50 FT.)	9000	full branching, single leader

TOTAL 10-YEAR TREE CANOPY PROVIDED BY PLANTING 14400

TOTAL 10-YEAR TREE CANOPY PROVIDED BY PLANTING WITH BENEFITS (LINE D17) 19213

Table 12.3 Tree Preservation Target Calculations and Statement

Statement	Value	See
A. Predevelopment area of existing tree canopy (from Existing Vegetation Map) (SF) =	36,800	see § 12-0506.2
B. Percentage of gross site area covered by existing tree canopy =	10%	
C. Percentage of 10-year tree canopy required for site =	10%	see Table 12.4
D. Percentage of the 10-year tree canopy requirement that should be met through tree preservation =	10%	
E. Proposed percentage of canopy requirement that will be met through tree preservation =	12.3%	
F. Has the Tree Preservation Target minimum been met?	No	Provide Yes or No
G. If No to A & E, then a request to deviate from the Tree Preservation Target shall be provided on the plan that states one or more of the justifications listed in § 12-0506.3 along with a narrative that provides a site-specific explanation of why the Tree Preservation Target cannot be met. Provide sheet number where location is required.	C-48	Provide sheet number, see § 12-0506.3
H. If step A 7 requires a narrative, it shall be provided in accordance with § 12-0506.4	YES	see § 12-0506.4
I. Place this information into the 10-year Tree Canopy Calculation and see exceptions in Table 12.10	YES	

FILED BY: [Signature] DATE: [Date] PROJECT: [Project Name] SHEET: [Sheet Number] OF [Total Sheets]

Table 12.10 10-Year Tree Canopy Calculation Worksheet

Item	Value	Reference
A. Tree Preservation Target and Statement		
A.1. Place the Tree Preservation Target calculations and statement that predevelopment the 10-year tree canopy	see § 12-0506.2 for list of required elements and completed	
B. Tree Canopy Requirement		
B.1. Identify gross site area (SF) =	34,626	§ 12-0511.1A
B.2. Subtract area dedicated to parks, road, waterway (SF) =	31,842	§ 12-0511.1B
B.3. Subtract area of exemptions (SF) =	0	§ 12-0511.1C(1) through § 12-0511.1C(5)
B.4. Adjusted gross site area (B1-B2-B3) (SF) =	217,684	Square feet
B.5. Identify the site's existing and/or use	PTC	
B.6. Percentage of 10-year tree canopy required =	10.6%	§ 12-0511.1 and Table 12.4
B.7. Area of 10-year Tree Canopy Required (B4 x B6) (SF) =	23,158	Square feet
B.8. Modification of 10-year Tree Canopy Requirement requested?	NO	Yes or No
B.9. F&B is yes, then the plan shall show where modification is located	N/A	Sheet number
C. Tree Preservation		
C.1. Tree Preservation Target Area (SF) =	2,431	Square Feet
C.2. Total canopy area existing on-site of § 12-0405 (SF) =	2,873	Square Feet
C.3. Total canopy area provided by urban or suburban forest and/or conservation (SF) =	2,873	§ 12-0510.1B
C.4. Total canopy area provided by urban or suburban forest and/or conservation (SF) =	0	Square Feet
C.5. Area of canopy provided by "hardwood" "deciduous" "species" in "3" inch" trees (SF) =	0	§ 12-0510.1B(1)
C.6. Area of canopy provided by "hardwood" "deciduous" "species" in "3" inch" trees (SF) =	0	§ 12-0510.1B(1)
C.7. Canopy area of trees water resource Protection Areas and 100-year floodplains (SF) =	0	Square Feet
C.8. Total canopy area (C1-C6-C7) (SF) =	0	§ 12-0510.1B(1)
C.9. Area of C 10 is less than 8% of canopy of requirement must be met through tree planting - go to Table 12.11	2,873	
D. Tree Planting		
D.1. Area of canopy to be met through tree planting (D 1-C 10) =	18,633	Square feet
D.2. Area of canopy provided for air quality benefits =	6,000	Square feet
D.3. Area of canopy provided for energy conservation =	0	Square feet
D.4. Area of canopy provided for water quality benefits =	0	§ 12-0510.1B(2)
D.5. Area of canopy provided for water quality benefits =	3,000	Square feet
D.6. Area of canopy provided for water quality benefits =	4,063	§ 12-0510.1B(3)
D.7. Area of canopy provided for water quality benefits =	2,000	Square feet
D.8. Area of canopy provided through native shrubs =	3,000	§ 12-0510.1B(4)
D.9. Area of canopy provided through native shrubs =	0	Square feet
D.10. Area of canopy provided through native shrubs =	0	Square feet
D.11. Area of canopy provided through native shrubs =	0	Square feet
D.12. Area of canopy provided through native shrubs =	0	Square feet
D.13. Area of canopy provided through native shrubs =	0	§ 12-0510.1B(5)
D.14. Area of canopy provided through native shrubs =	0	Square feet
D.15. Area of canopy provided through native shrubs =	0	Square feet
D.16. Percentage of D 14 represented by D 15 =	0%	Use not met and 30% of D 14
D.17. Area of canopy to be planted with no benefit credits =	3,103	Square feet
D.18. Total canopy area provided through tree planting =	18,213	Square feet
D.19. Is an office building plant requested?	NO	Yes or No
D.20. Is a bank or tree fund?	NO	Yes or No § 12-0512
D.21. Canopy area requested to be provided through office building or tree fund =	0	Square feet
D.22. Amount to be deposited into the Tree Preservation and Planting Fund =	0	

FILED BY: [Signature] DATE: [Date] PROJECT: [Project Name] SHEET: [Sheet Number] OF [Total Sheets]

Table 12.11 Interior Parking Lot Landscaping Calculations

Item	Value	Reference
E. Total of 10-year Tree Canopy Provided		
E.1. Total of canopy area provided through tree planting (D 10) =	2,873	Square Feet
E.2. Total of canopy area provided through tree planting (D 17) =	18,213	Square Feet
E.3. Total of canopy area provided through office building or tree fund =	0	Square Feet
E.4. Total of 10-year Tree Canopy Provided (E 1+E 2+E 3) =	21,086	Total of E 1 through E 3, area provided must be included area in B 7
F. Total of 10-year Tree Canopy Provided		
F.1. Total of canopy area provided through tree planting (D 10) =	2,873	Square Feet
F.2. Total of canopy area provided through tree planting (D 17) =	18,213	Square Feet
F.3. Total of canopy area provided through office building or tree fund =	0	Square Feet
F.4. Total of 10-year Tree Canopy Provided (F 1+F 2+F 3) =	21,086	Total of F 1 through F 3, area provided must be included area in B 7

FILED BY: [Signature] DATE: [Date] PROJECT: [Project Name] SHEET: [Sheet Number] OF [Total Sheets]

7915 JONES
BRANCH
DRIVE

PROPOSED DESIGN
FARM COUNTY, VIRGINIA
PARKER RODRIGUEZ, INC.
121 North Union St. # 2725
Richmond, VA 23214
703.344.3010



07.03.2011 COUNTY (Contract)
07.11.2011 CDP / TOP MORGAN
08.11.2011 CDP / TOP MORGAN
10.01.2011 CDP / TOP MORGAN

Overall
Landscape
Site Plan

DESIGN DATE: 11/13/2013
DESIGNED BY: DC
DRAWN BY: DC
CHECKED BY: DC
HATCH: DC

SCALE: 1"=50'-0"
N

10.00

CDP / FDP SUBMISSION - 10.02.2014

7915 JONES
BRANCH
DRIVE

PROPOSED DISTRICT
FARM COUNTY, MISSOURI
PARALEL RODRIGUEZ, INC.
101 North Union St., #200
Independence, MO 64220
783.544.3010



REVISION	DATE	DESCRIPTION
01.02.2014	COUNTY (CHECKED)	
02.14.2014	CDP / FDP REVISION	
03.14.2014	CDP / FDP REVISION	
06.11.2014	CDP / FDP REVISION	
10.02.2014	CDP / FDP REVISION	

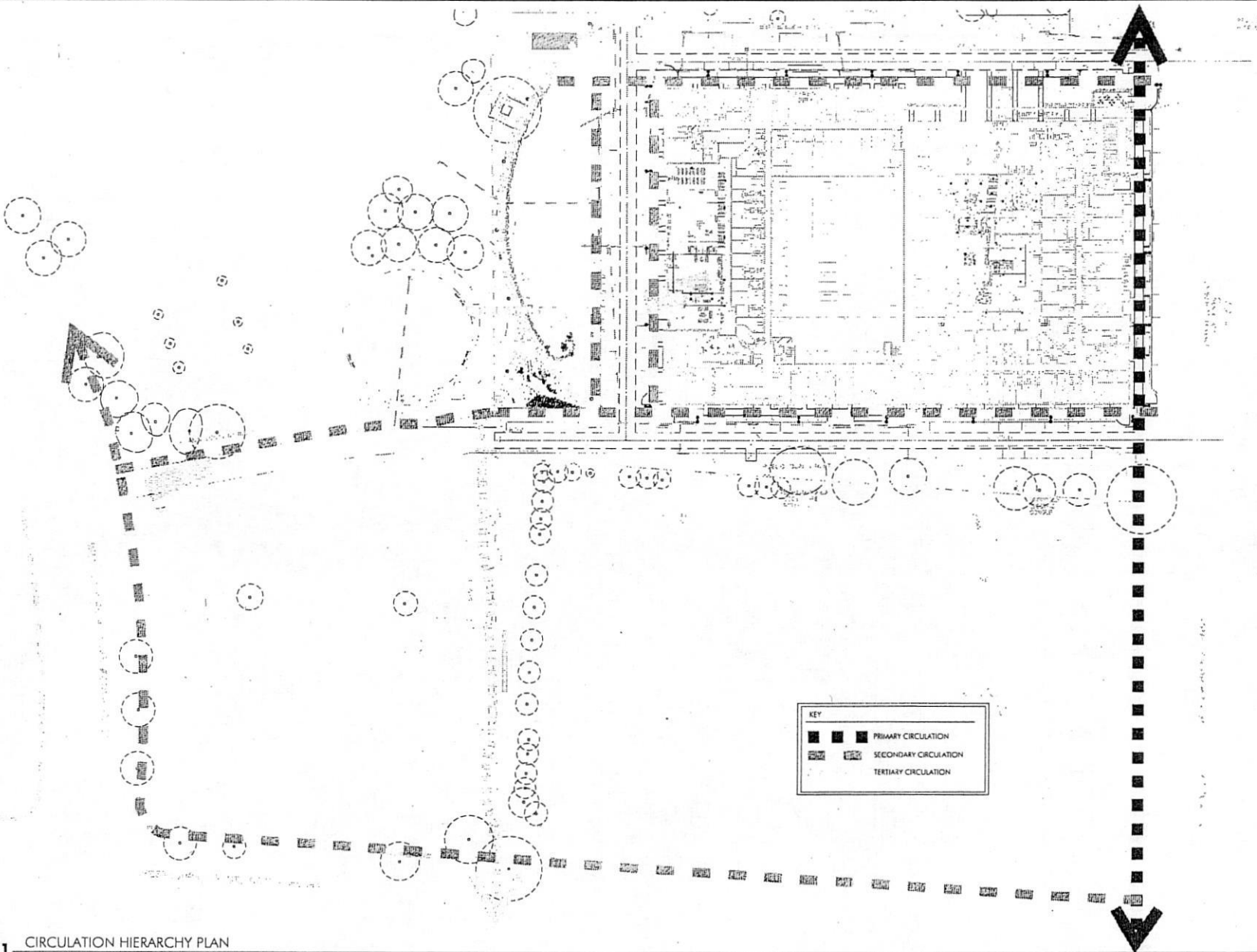
Circulation
Hierarchy
Plan

CDP/FDP SUBMISSION - 10.02.2014

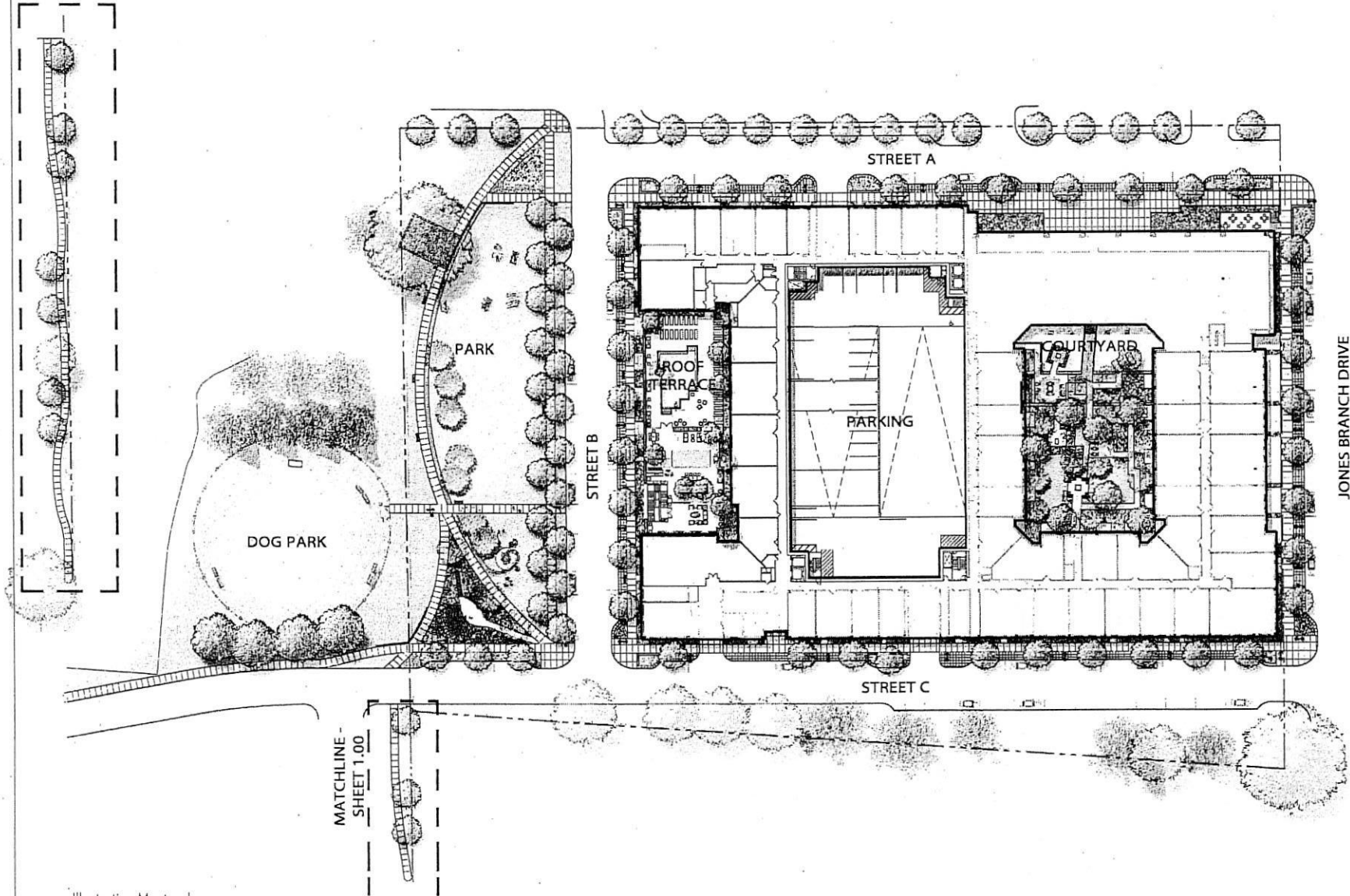
CDP/FDP SUBMISSION - 10.02.2014

LO.01

01 CIRCULATION HIERARCHY PLAN
SCALE 1"=40.0'



MATCHLINE -
SHEET 1.00



7915 JONES
BRANCH
DRIVE

1. PROPOSED SITE
2. APPROVALS, NOTES, & RECORDS
PARKER RODRIGUEZ, INC.
ARCHITECTS
100 North Street, Suite 200
Annapolis, MD 21403
410.261.1234



REVISIONS

NO.	DATE	DESCRIPTION
01	10/02/14	CDP / FDP SUBMISSION

Illustrative
Landscape
Masterplan

DESIGNED BY: TRINI M. RODRIGUEZ
CHECKED BY: [Signature]
DATE: 10/02/14
SCALE: 1" = 30'-0"

11.00

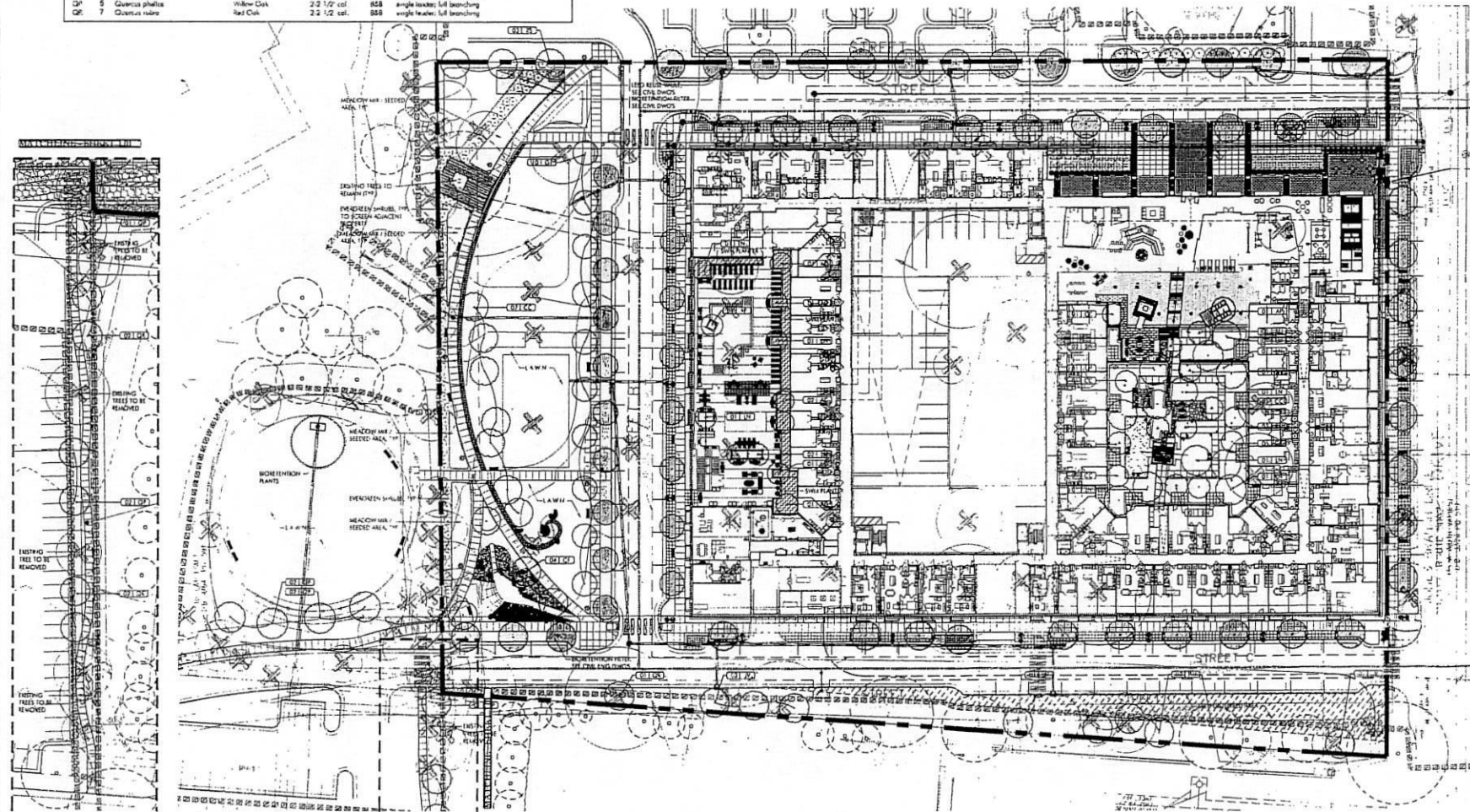
CDP / FDP SUBMISSION - 10.02.2014

01 Illustrative Masterplan
SCALE: 1" = 30'-0"

CONCEPTUAL PLANTING SCHEDULE (TREES DO NOT COUNT TOWARDS TREE CANOPY COVERAGE)					
REV	QTY	SYMBOL	COMMON NAME	SIZE	COMMENTS
1-C	4		Sanctuary	8-10 ft	multi-trunk (3 stems minimum), full branching
AP	1		Asian palm	8-10 ft	full collected specimen, multi-trunk, minimum 3 trunks
IN	2		Lagerströmia indica	8-10 ft	multi-trunk (3 stems minimum), full branching
IN	2		Magnolia x soulangiana	8-10 ft	multi-trunk (3 stems minimum), full branching
Countdown					
AP	1		Asian palm	8-10 ft	full collected specimen, multi-trunk, minimum 2 trunks
IN	2		Asian palm	8-10 ft	multi-trunk (3 stems minimum), full branching
CC	5		Canna lily	8-10 ft	single stem, full branching
UN	6		Lagerströmia indica	8-10 ft	multi-trunk (3 stems minimum), full branching
UP	2		Ulmus parviflorus	2-2 1/2' cal	single stem, full branching
On-Site Park					
CC	7		Canna lily	2-2 1/2' cal	single leader, full branching
CF	4		Canna lily	2-2 1/2' cal	single leader, full branching
OT	10		Ononis asarifolia	2-2 1/2' cal	single leader, full branching
DS	3		Delonix regia	2-2 1/2' cal	single leader, full branching
On-Site Main Trail Connector / South Property Line					
PI	5		Pinus strobus	8-10 ft	single leader, full branching
PI	3		Pinus strobus	12-14 ft	heavy, matched, symmetrical
QF	5		Quercus phellos	2-2 1/2' cal	single leader, full branching
QF	5		Quercus rubra	2-2 1/2' cal	single leader, full branching

LEGEND

- EXISTING TREES TO REMAIN (SEE C-100 SHEET)
- EXISTING TREES TO BE REMOVED (SEE C-100 SHEET)
- PROPOSED TREES TO BE COUNTED TOWARDS 10% TREE CANOPY CALC (SEE TREE SCHEDULE PLAN, 10% TREE CANOPY, AND 10% TREE CANOPY, OR SEE INFORMATION)
- PROPOSED TREES NOT TO BE COUNTED TOWARDS 10% TREE CANOPY CALC (SEE INFORMATION)
- STORM WATER MANAGEMENT PLANTS



01 Landscape Plan
SCALE 1"=30'-0"

7915 JONES
BRANCH
DRIVE

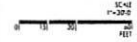
INCORPORATED
PARKER RODRIGUEZ, INC.
1001 Peachtree Street, N.E.
Atlanta, GA 30329
404.525.5010



REVISION	DATE	BY	DESCRIPTION
01	10/02/14	CDP / FDP	REVISIONS
02	10/02/14	CDP / FDP	REVISIONS
03	10/02/14	CDP / FDP	REVISIONS
04	10/02/14	CDP / FDP	REVISIONS
05	10/02/14	CDP / FDP	REVISIONS

Landscape/
Park Plan

ORIGINAL ISSUE DATE
10/18/2013
DESIGNED BY
DC
DRAWN BY
DC
CHECKED BY
DC
NOTED BY
DC



L1.01

CDP / FDP SUBMISSION - 10.02.2014



01.01.01	COUNTY BOARD
01.01.02	CDP / FDP ALLOCATION
01.01.03	CDP / FDP ALLOCATION
01.01.04	CDP / FDP ALLOCATION
01.01.05	CDP / FDP ALLOCATION

Hardscape
Plan

ORIGINAL DATE: 10.10.2013

DESIGNED BY: DC

DRAWN BY: M

CHECKED BY: DC

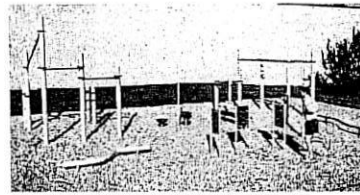
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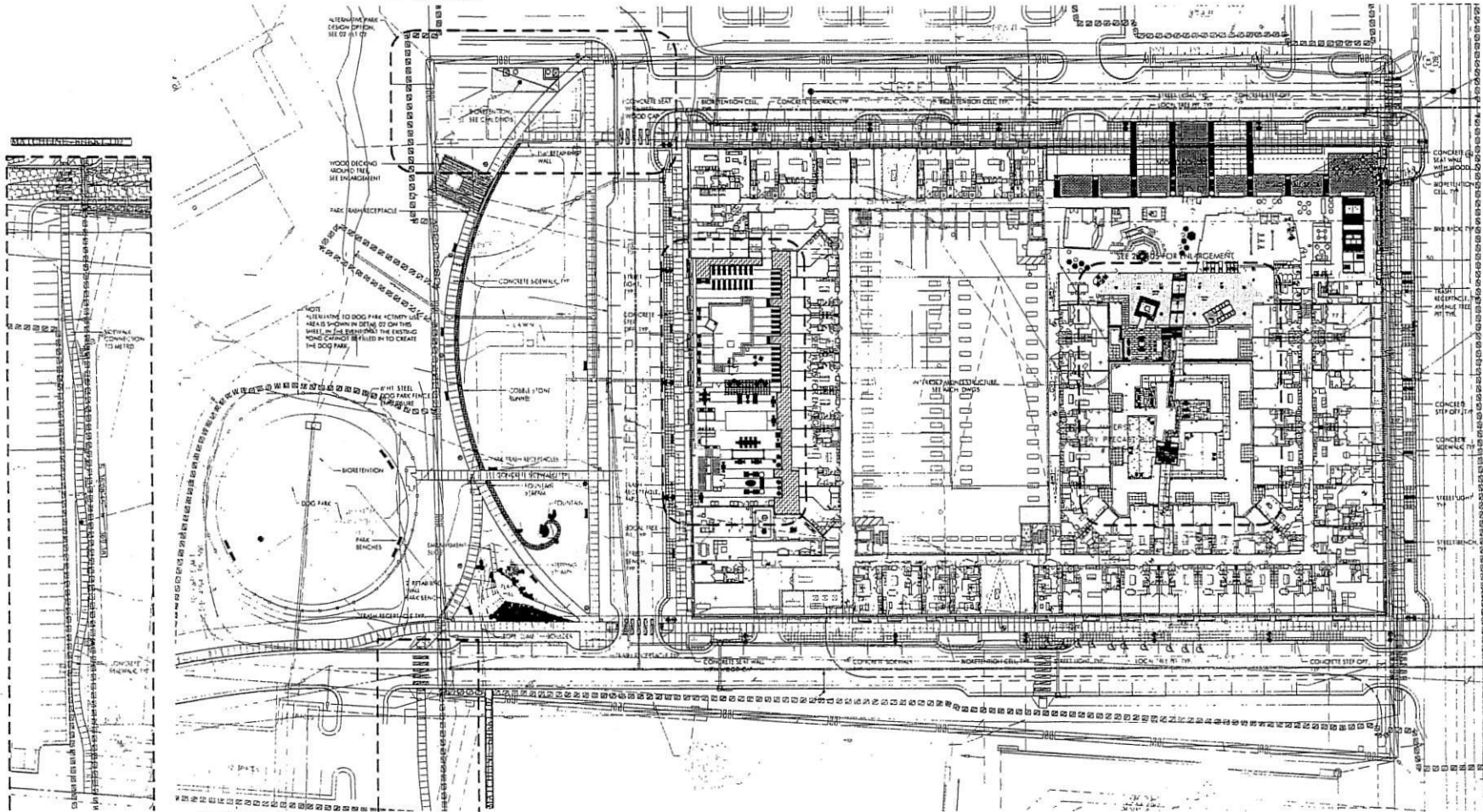
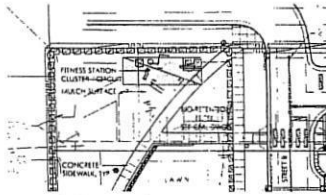
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CDP / FDP SUBMISSION - 10.02.2014

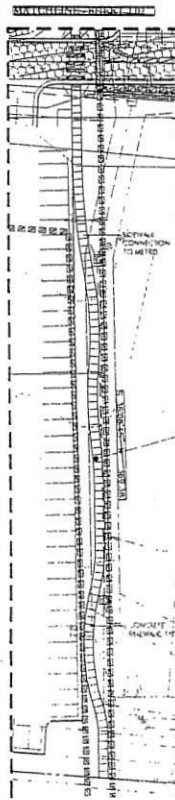


FITCORE OUTDOOR FITNESS EQUIPMENT BY LANDSCAPE STRUCTURES

02 Park Design Alternative
SCALE: 1"=30'-0"



01 Hardscape Plan
SCALE: 1"=30'-0"



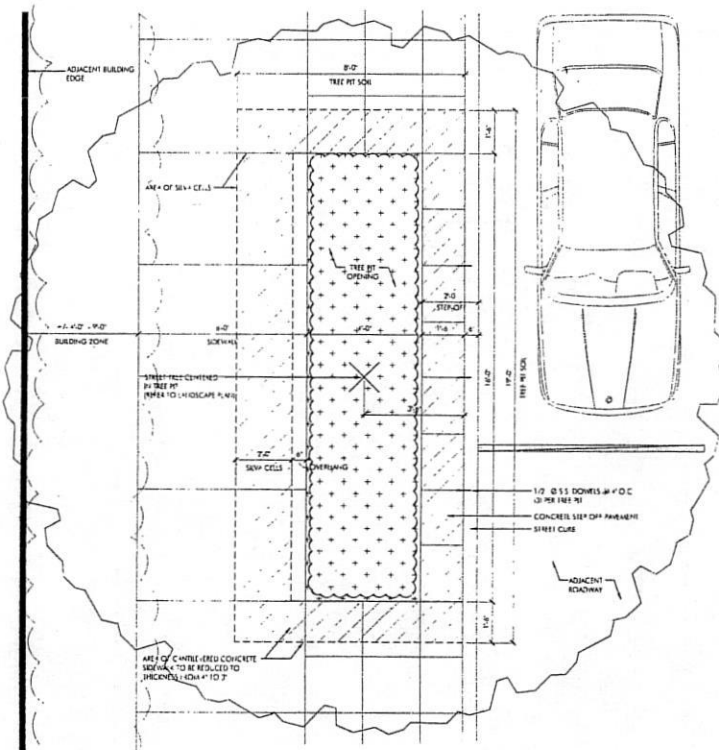


REVISIONS	
02.03.2014	COUNTY COMMISSION
02.16.2014	CDP / FDP SUBMISSION
02.16.2014	CDP / FDP SUBMISSION
02.16.2014	CDP / FDP SUBMISSION
02.03.2014	CDP / FDP SUBMISSION

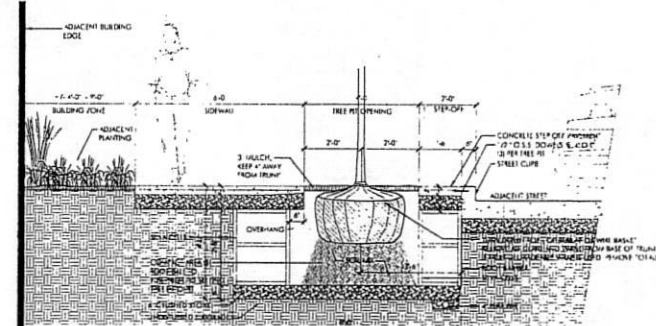
Streetscape
Enlargements

ORIGINAL ISSUE DATE: 11.18.2013
DESIGNED BY: JC
DRAWN BY: JC
CHECKED BY: JC
SCALE: 1"=30'-0"

L2.01

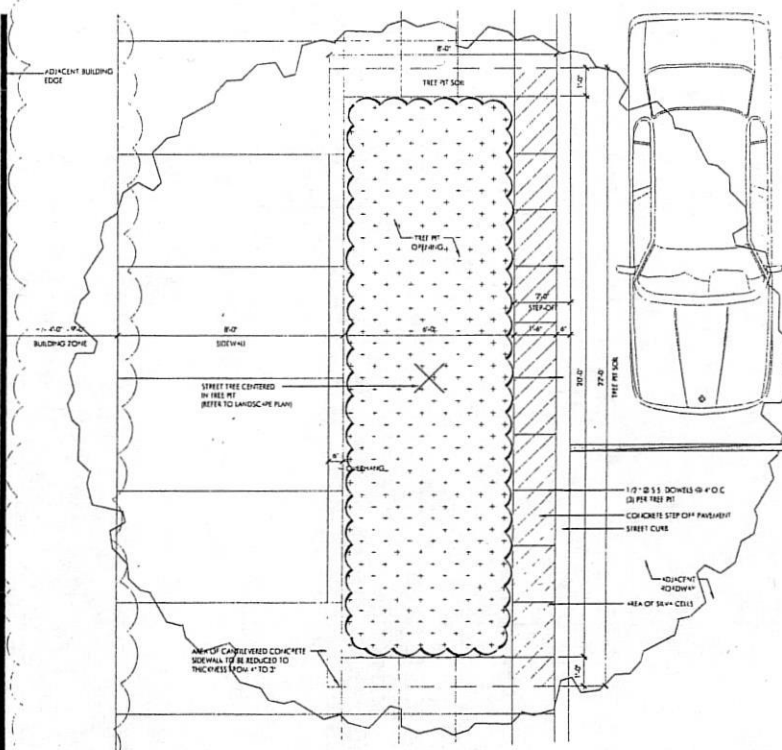


STREET TREE PIT PLAN

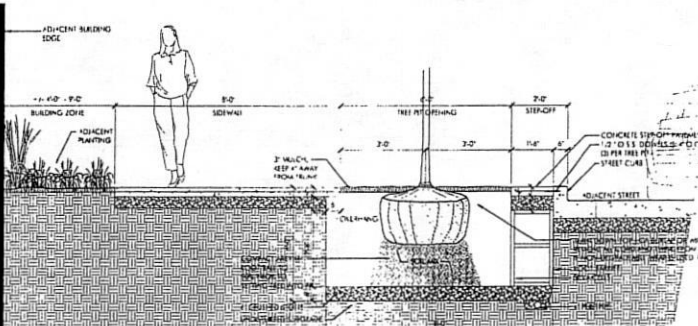


STREET TREE PIT SECTION

01 TREE PIT - LOCAL STREET
SCALE: 1/2"=1'-0"



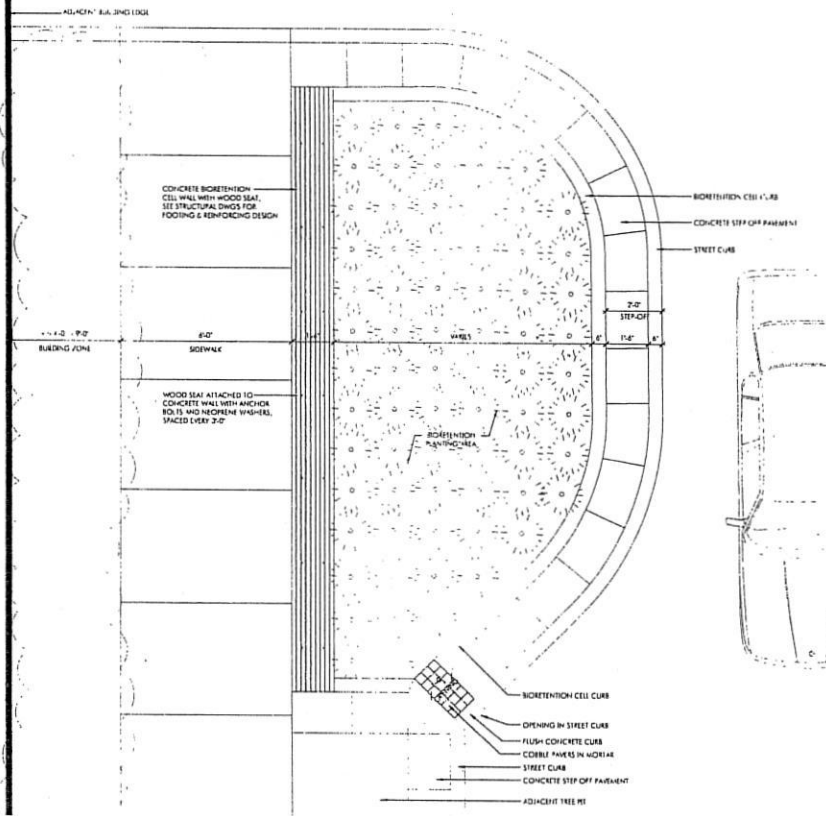
STREET TREE PIT PLAN



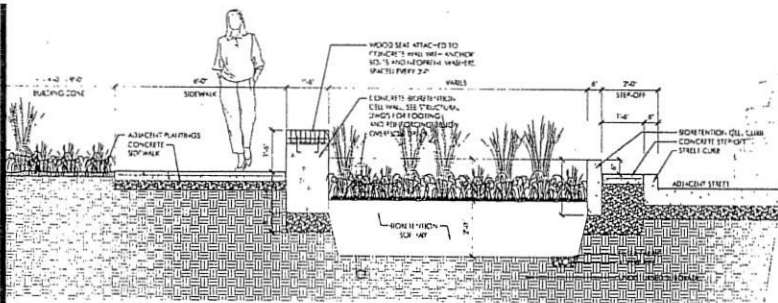
STREET TREE PIT SECTION

02 TREE PIT - AVENUE
SCALE: 1/2"=1'-0"

CDP / FDP SUBMISSION - 10.02.2014



BIORETENTION CELL PLAN



BIORETENTION CELL SECTION

01 BIORETENTION CELL ENLARGEMENT

SCALE: 1/2" = 1'-0"



02 STREETScape VIEW - AVENUE

SCALE: 1/8" = 1'-0"



03 STREETScape VIEW - LOCAL STREET

SCALE: 1/8" = 1'-0"

7915 JONES
BRANCH
DRIVE

WORKSHEET DISTRICT
HARRIS COUNTY, TEXAS
PARKER RODRIGUEZ, INC.
10000 Katy Road, Suite 100
Houston, TX 77054
713.548.5010



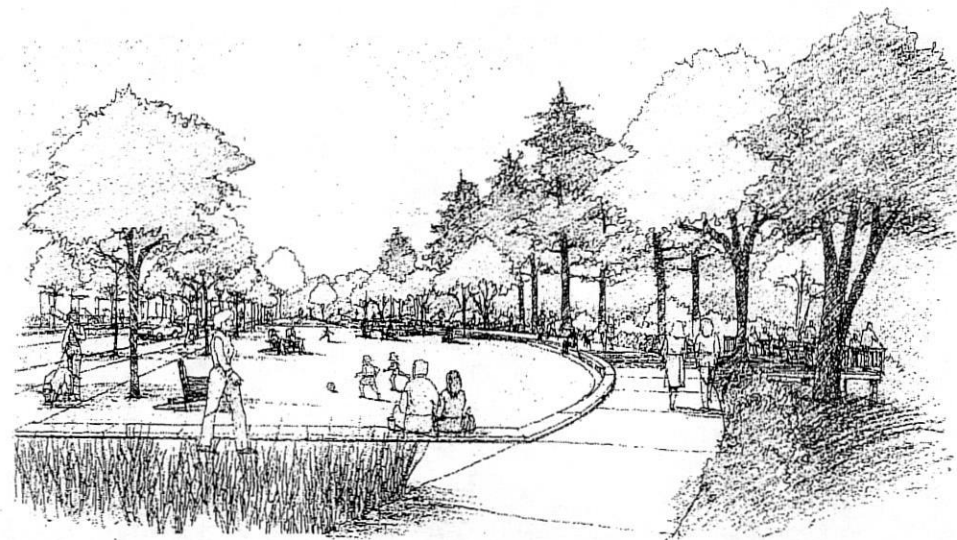
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10.01.13	CONCEPT DESIGN
10.01.13	CONCEPT DESIGN
10.01.13	CONCEPT DESIGN
10.01.13	CONCEPT DESIGN

Streetscape
Enlargements
and Perspectives

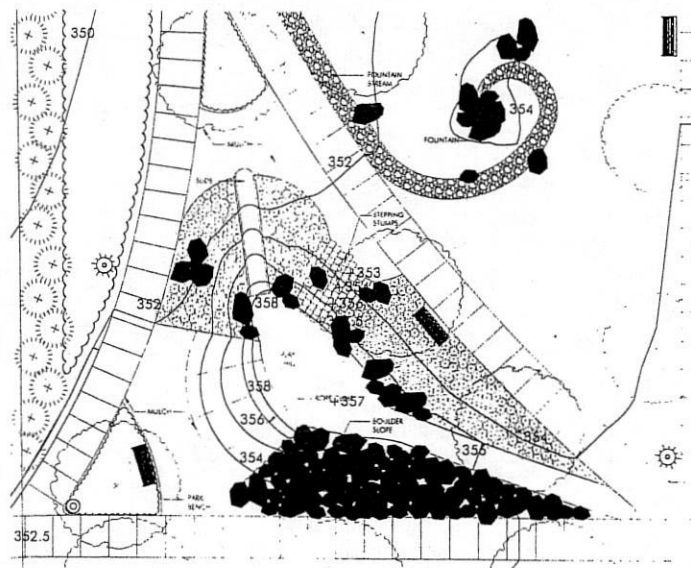
DESIGNED BY	DC
CHECKED BY	DC
DATE	10/02/13
SCALE	1/8" = 1'-0"

CDP/FDP SUBMISSION - 10.02.2014

L2.02



01 PARK PERSPECTIVE: FROM NORTH LOOKING SOUTH



02 PLAY HILL & FOUNTAIN ENLARGEMENT
SCALE: 1/8"=1'-0"



FOUNTAIN WATER SPRAYING FROM GROUP OF ROLLERS



CHILD PLAYING WITH WATER SPRAYING FROM ROCK FOUNTAIN

NOTE: THESE PHOTOS ARE REPRESENTATIVE OF DESIGN INTENT ONLY FOR PLAY AREA

03 PARK PRECEDENT PHOTOS



STEPPING STONES



STEP: CLIPPING STEPS AND NOT BUILT AREA



ROUNDER SLOPE FOLLOWING WINDING



HILDER SLOPE, ROUNDER AND STEPS



HILDER SLOPE, ROUNDER AND STEPS

7915 JONES
BRANCH
DRIVE

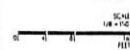
ARCHITECTURAL DISTRICT
FARMER COUNTY, MISSISSIPPI
PARKER ROODRIGH Z, INC.
1000 North Highway 20, #200
Birmingham, AL 35214
205.348.5010



REVISIONS
01.08.2014 COUNTY COMMENTS
02.18.2014 CDP/CDP REVISIONS
03.18.2014 CDP/CDP REVISIONS
04.21.2014 CDP/CDP REVISIONS
11.02.2014 CDP/CDP REVISIONS

Park
Enlargements

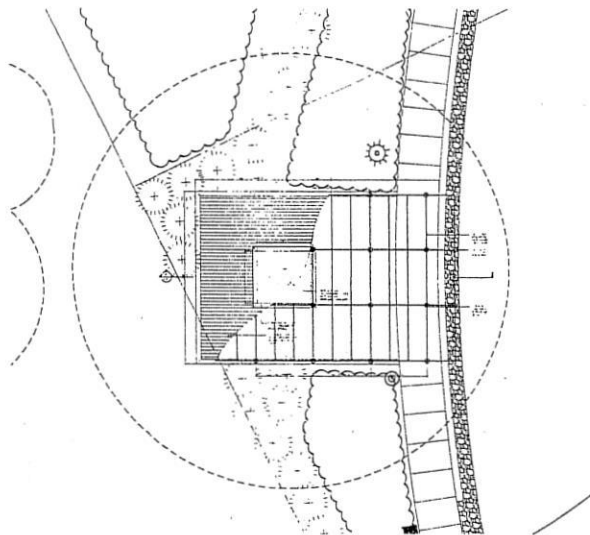
ORIGINAL SCALE SHEET
1/8"=1'-0"
DESIGNED BY
DRAWN BY
CHECKED BY
DATE



SCALE
1/8"=1'-0"
1"=10'

CDP/FDP SUBMISSION - 10.02.2014

L2.03



01 DECK ENLARGEMENT
SCALE: 1/8" = 1'-0"

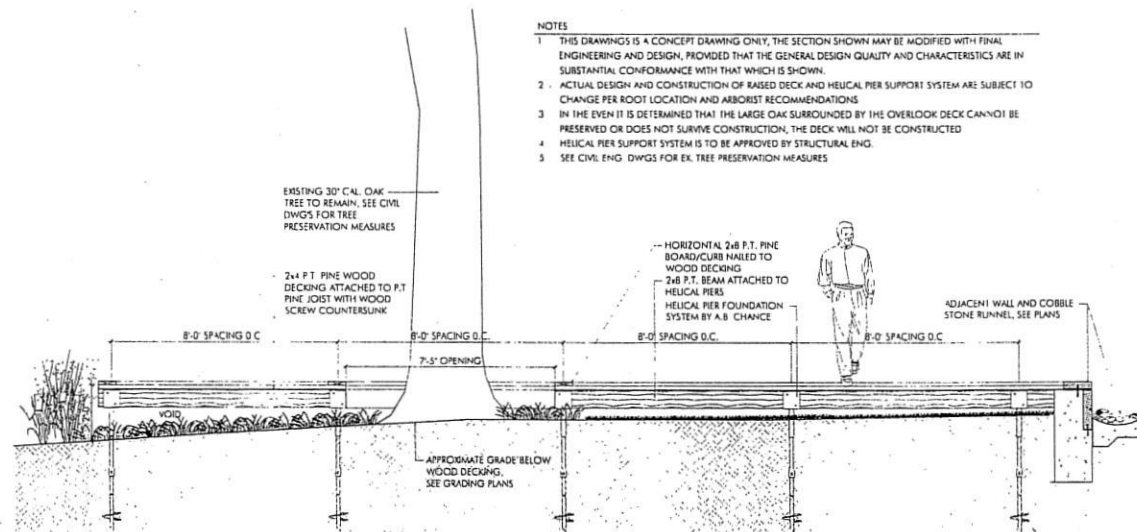


WOOD DECK CONSTRUCTION METHOD WITH HELICAL PILE FOUNDATION SYSTEM

02 WOOD DECK PRECEDENT PHOTOS

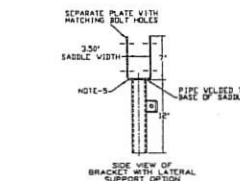
NOTES

1. THIS DRAWING IS A CONCEPT DRAWING ONLY. THE SECTION SHOWN MAY BE MODIFIED WITH FINAL ENGINEERING AND DESIGN, PROVIDED THAT THE GENERAL DESIGN QUALITY AND CHARACTERISTICS ARE IN SUBSTANTIAL CONFORMANCE WITH THAT WHICH IS SHOWN.
2. ACTUAL DESIGN AND CONSTRUCTION OF RAISED DECK AND HELICAL PIER SUPPORT SYSTEM ARE SUBJECT TO CHANGE PER ROOT LOCATION AND ARBORIST RECOMMENDATIONS.
3. IN THE EVENT IT IS DETERMINED THAT THE LARGE OAK SURROUNDED BY THE OVERLOOK DECK CANNOT BE PRESERVED OR DOES NOT SURVIVE CONSTRUCTION, THE DECK WILL NOT BE CONSTRUCTED.
4. HELICAL PIER SUPPORT SYSTEM IS TO BE APPROVED BY STRUCTURAL ENG.
5. SEE CIVIL ENG. DWGS FOR EX. TREE PRESERVATION MEASURES.



03 CONCEPTUAL DECK CROSS SECTION
SCALE: 1/2" = 1'-0"

- NOTES-**
1. THIS IS A CONCEPT DRAWING ONLY. ACTUAL DESIGN AND CONSTRUCTION OF WALKWAY AND HELICAL PIER SUPPORT SYSTEM IS LEFT TO OTHERS.
 2. HELICAL PIERS CAN BE EITHER SINGLE OR MULTI-HELIX. THE NUMBER AND SIZE OF HELIX PLATES VARY DEPENDING ON PIER LOAD AND SOIL CONDITIONS.
 3. HELICAL PIERS ARE INSTALLED (SEEVED) TO A MINIMUM DEPTH AND TORQUE AS REQUIRED IN THE CONSTRUCTION PLANS.
 4. HOT DIPPED GALVANIZED PER ASTM A-153.
 5. MATERIAL FOR SADDLE: 1/4" THICK HOT ROLLED STEEL.
 6. 3/8" TO 1/2" DIA. NUT HEAD, 4-10" LONG WITH NUT AND LOCKWASHER SUPPLIED BY OTHERS.
 7. 10000 LB MAX LOAD COMPRESSION ONLY.



7915 JONES
BRANCH
DRIVE

PROFESSIONAL DISTRICT
FARMAS COUNTY, VIRGINIA
PARKER RODRIGUEZ, INC.
Engineer: Parker M. Rodriguez, P.E.
1122 West University Blvd., Suite 200
Alexandria, VA 22314
703.544.5555



REVISION	DATE	DESCRIPTION
01.00.2014	CDP / FDP SUBMISSION	CDP / FDP SUBMISSION
02.00.2014	CDP / FDP SUBMISSION	CDP / FDP SUBMISSION
03.00.2014	CDP / FDP SUBMISSION	CDP / FDP SUBMISSION
04.00.2014	CDP / FDP SUBMISSION	CDP / FDP SUBMISSION
05.00.2014	CDP / FDP SUBMISSION	CDP / FDP SUBMISSION
06.00.2014	CDP / FDP SUBMISSION	CDP / FDP SUBMISSION
07.00.2014	CDP / FDP SUBMISSION	CDP / FDP SUBMISSION
08.00.2014	CDP / FDP SUBMISSION	CDP / FDP SUBMISSION
09.00.2014	CDP / FDP SUBMISSION	CDP / FDP SUBMISSION
10.00.2014	CDP / FDP SUBMISSION	CDP / FDP SUBMISSION

Wood Deck
Enlargement Plan
/ Sections

ORIGINAL DESIGNED	10/02/2014
DESIGNED BY	ENC
DRAWN BY	ENC
CHECKED BY	ENC
NOTED BY	ENC

12.03a

CDP / FDP SUBMISSION - 10.02.2014

7915 JONES
BRANCH
DRIVE

PROPOSING DESIGN
PARKER RODRIGUEZ, INC.
107 North Green St. #207
Birmingham, AL 35204
Phone: 205.277.1111
Fax: 205.277.1112

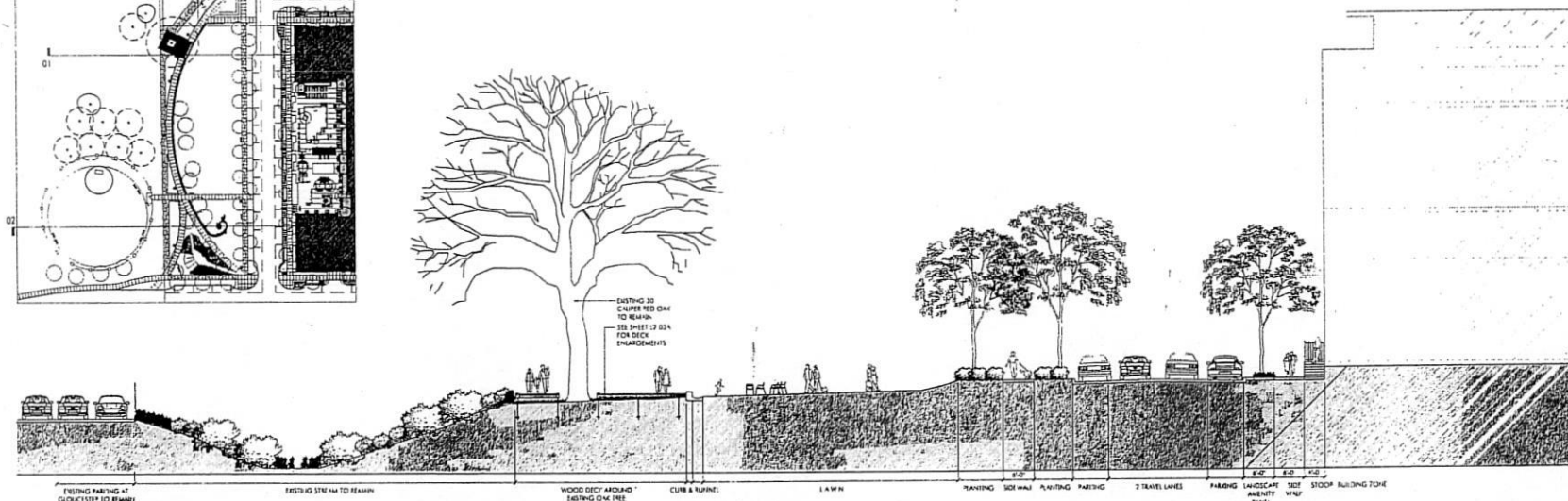
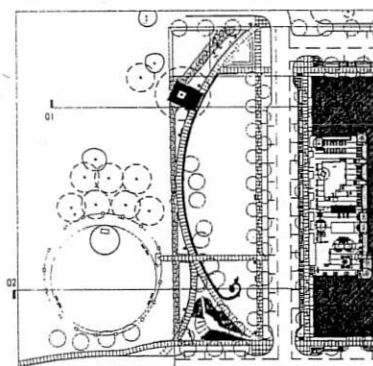


01.02.2014	COUNTY COMMISSION
01.14.2014	CDP - HDP REVISION
01.14.2014	CDP - HDP REVISION
01.14.2014	CDP - HDP REVISION
01.14.2014	CDP - HDP REVISION
01.14.2014	CDP - HDP REVISION

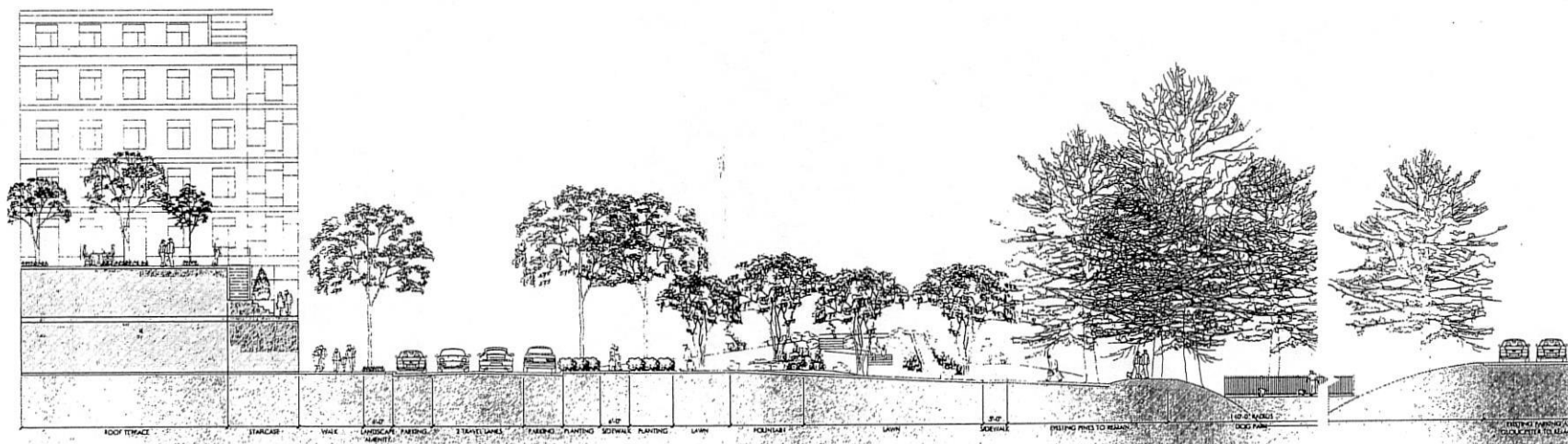
Park
Sections

DESIGNED BY: TRM
CHECKED BY: JRM
DATE: 10/02/14
SCALE: 3/32" = 1'-0"

L2.04

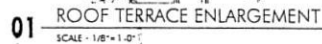


01 SECTION THROUGH NORTHERN END OF PARK, LOOKING NORTH
SCALE: 3/32" = 1'-0"



02 SECTION THROUGH SOUTHERN END OF PARK, LOOKING SOUTH
SCALE: 3/32" = 1'-0"

CDP/ FDP SUBMISSION - 10.02.2014



L2.05



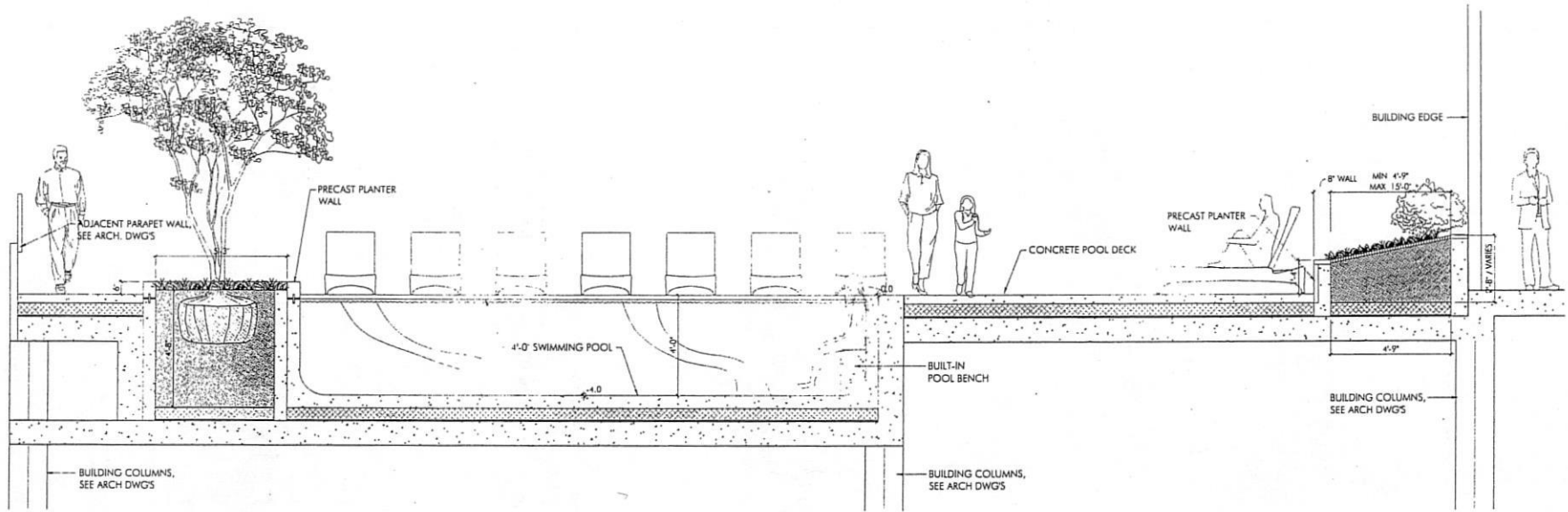
DATE	DESCRIPTION
01.03.2014	COUNTY COMMENTS
01.03.2014	CDP / FDP REVISIONS
01.03.2014	CDP / FDP REVISIONS
01.03.2014	CDP / FDP REVISIONS
01.03.2014	CDP / FDP REVISIONS

Roof Terrace
Sections

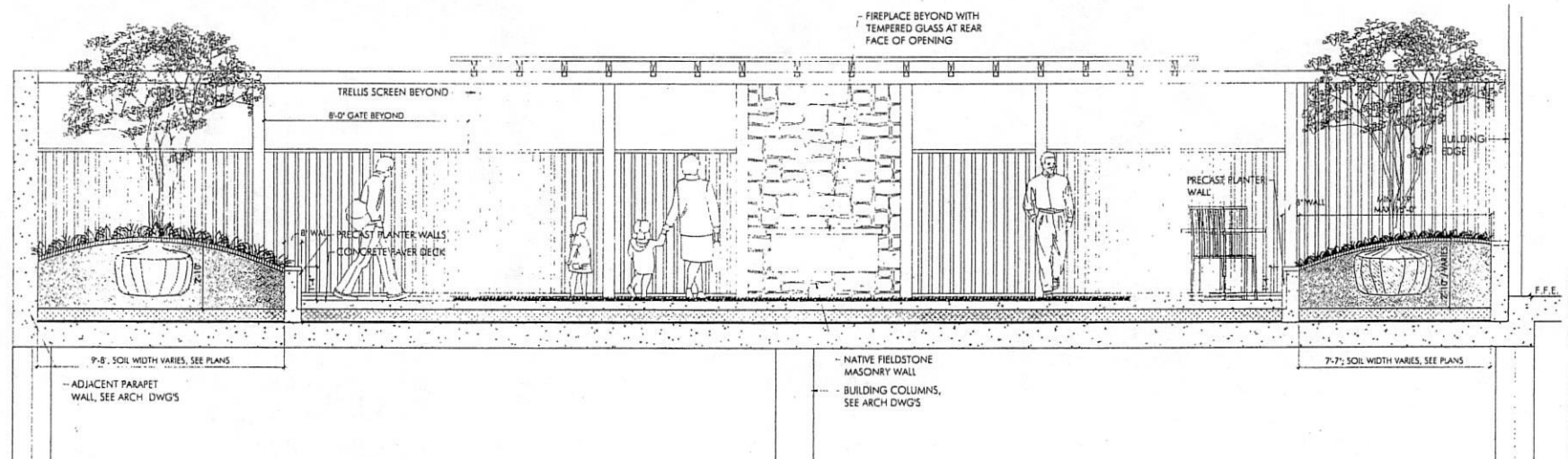
OPENING ISSUE DATE
13.10.2013
DESIGNED BY
DC
DRAWN BY
A
CHECKED BY
DC
NOTED
BY
FRT
SCALE
1/2" = 1'-0"

CDP / FDP SUBMISSION - 10.02.2014

L2.06



01 ROOF TERRACE CROSS SECTION THROUGH POOL
SCALE: 1/2" = 1'-0"



02 ROOF TERRACE CROSS SECTION AMENITY SPACE
SCALE: 1/2" = 1'-0"



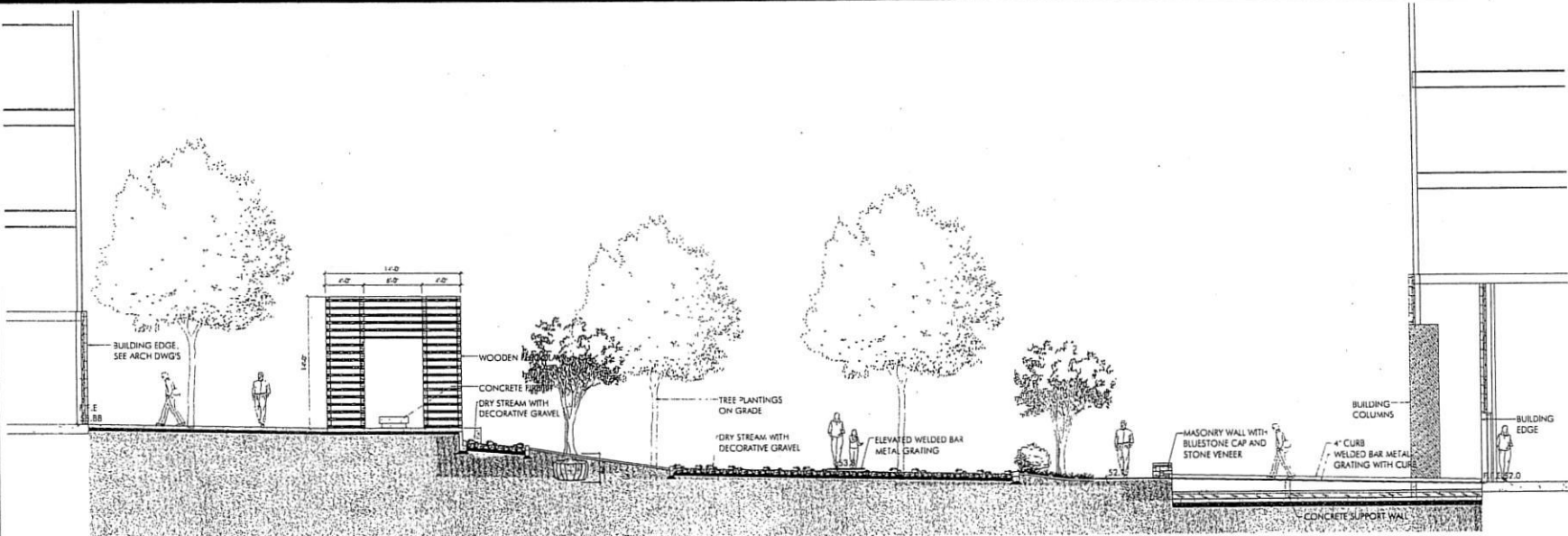
01.01.2014	COUNTY COMMISSION
01.14.2014	CDP - FDP SUBMISSION
01.14.2014	CDP - FDP SUBMISSION
01.14.2014	CDP - FDP SUBMISSION
01.14.2014	CDP - FDP SUBMISSION
01.14.2014	CDP - FDP SUBMISSION

Courtyard
Sections

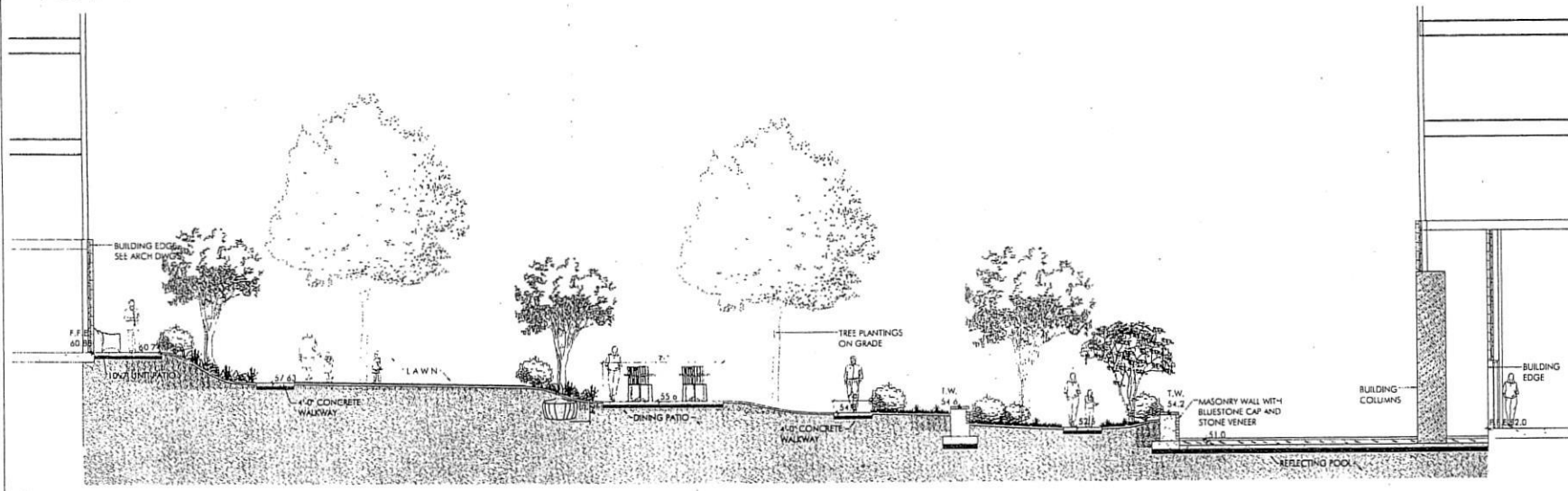
01.01.2014	CDP - FDP SUBMISSION
01.14.2014	CDP - FDP SUBMISSION
01.14.2014	CDP - FDP SUBMISSION
01.14.2014	CDP - FDP SUBMISSION
01.14.2014	CDP - FDP SUBMISSION
01.14.2014	CDP - FDP SUBMISSION

12.07

CDP/ FDP SUBMISSION - 10.02.2014

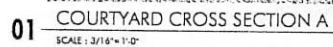


01 COURTYARD LONGITUDINAL SECTION A
SCALE 3/16" = 1'-0"



02 COURTYARD LONGITUDINAL SECTION B
SCALE 3/16" = 1'-0"

PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA
PARKER RODRIGUEZ INC.
101 North Union St., #220
Alexandria, VA 22314
703.548.5010

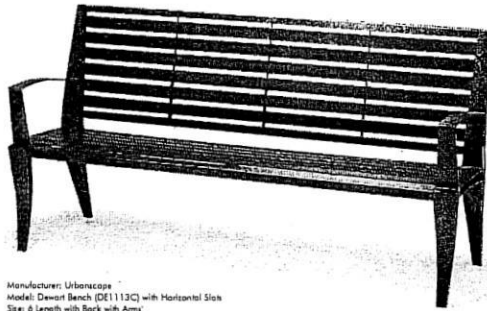


22.03.2014	COUNTY COMMENTS
03.10.2014	CSP / FDP REVISIONS
07.10.2014	CSP / FDP REVISIONS
08.11.2014	CSP / FDP REVISIONS
10.07.2014	CSP / FDP REVISIONS

ORIGINAL ISSUE DATE
12.18.2013
DESIGNED BY
DC
DRAWN BY
JE
CHECKED BY
DC
NORTH

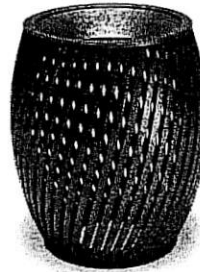
CDP/ FDP SUBMISSION - 10.02.2014

L2.08



Manufacturer: Urbanscape
Model: Devon Bench (DE1113C) with Horizontal Slats
Size: 6' Length with Back with Arms
Color: Powder Coating (AAMA 2604-05)
Website: www.urbanscapefurniture.com

01 STREETSCAPE - BENCH
Scale: NTS



Manufacturer: Urbanscape
Model: Receptacle T43T33P
Size: 32 Gallon
Color: Powder Coating (AAMA 2604-05)
Website: www.urbanscapefurniture.com

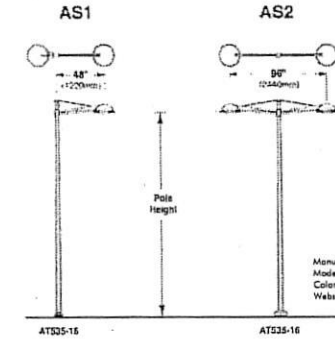
02 STREETSCAPE - TRASH RECEPTACLES
Scale: NTS



Manufacturer: Urbanscape
Model: Loop Bike Rack (BR15381)
Color: Powder Coating (AAMA 2604-05)
Website: www.urbanscapefurniture.com

03 STREETSCAPE - BIKE RACK
Scale: NTS

Spanner Arm Series



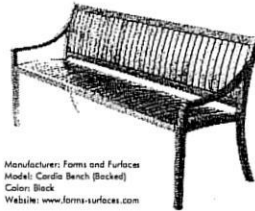
Manufacturer: Sefux
Model: Arc Spanner Arm Series
Color: Silver Finish
Website: www.safux.com

04 STREETSCAPE - LIGHT POLE
Scale: NTS



Manufacturer: Urbanscape
Model: Hanna Collection Arm Chair
Color: Powder Coating (AAMA 2604-05)
Website: www.urbanscapefurniture.com

05 STREETSCAPE - CAFE STYLE SEATING
Scale: NTS



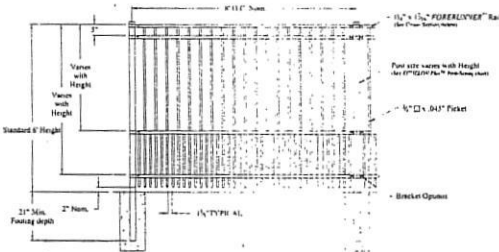
Manufacturer: Forms and Surfaces
Model: Cordia Bench (Backed)
Color: Black
Website: www.forms-surfaces.com

06 PARK - BENCH
Scale: NTS



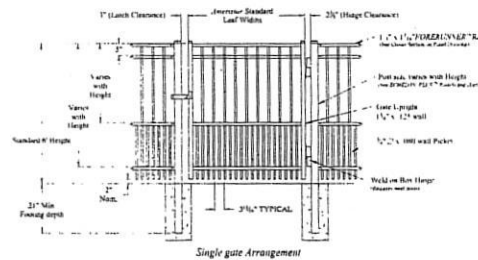
Manufacturer: Landscape Forms
Model: Plan-wall Trash Receptacle (32 Gallon)
Color: Black
Website: www.forms-surfaces.com

07 PARK - TRASH RECEPTACLE
Scale: NTS



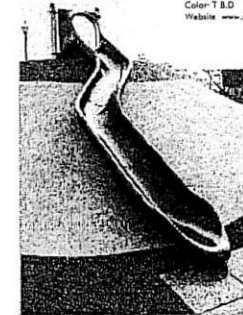
Manufacturer: Ameristar Fence Products
Model: Echelon Plus Puppy Panel
Size: 6' Length (Standard)
Color: Black
Website: www.ameristarfence.com

08 PARK - FENCE
Scale: NTS



Manufacturer: Ameristar Fence Products
Model: Echelon Plus Puppy Panel Gate
Color: Black
Website: www.ameristarfence.com

09 PARK - GATE
Scale: NTS



Manufacturer: Landscape Structures
Model: Rukunder Slide, Custom
Material: Metal and Plastic
Color: T.B.D.
Website: www.playco.com

10 PARK - SLIDE
Scale: NTS

7915 JONES
BRANCH
DRIVE

PROPOSED DESIGN
PARKER RODRIGUEZ, INC.
1100 W. 11th Street, Suite 100
Tulsa, Oklahoma 74103
Phone: (918) 438-1111
Fax: (918) 438-1111



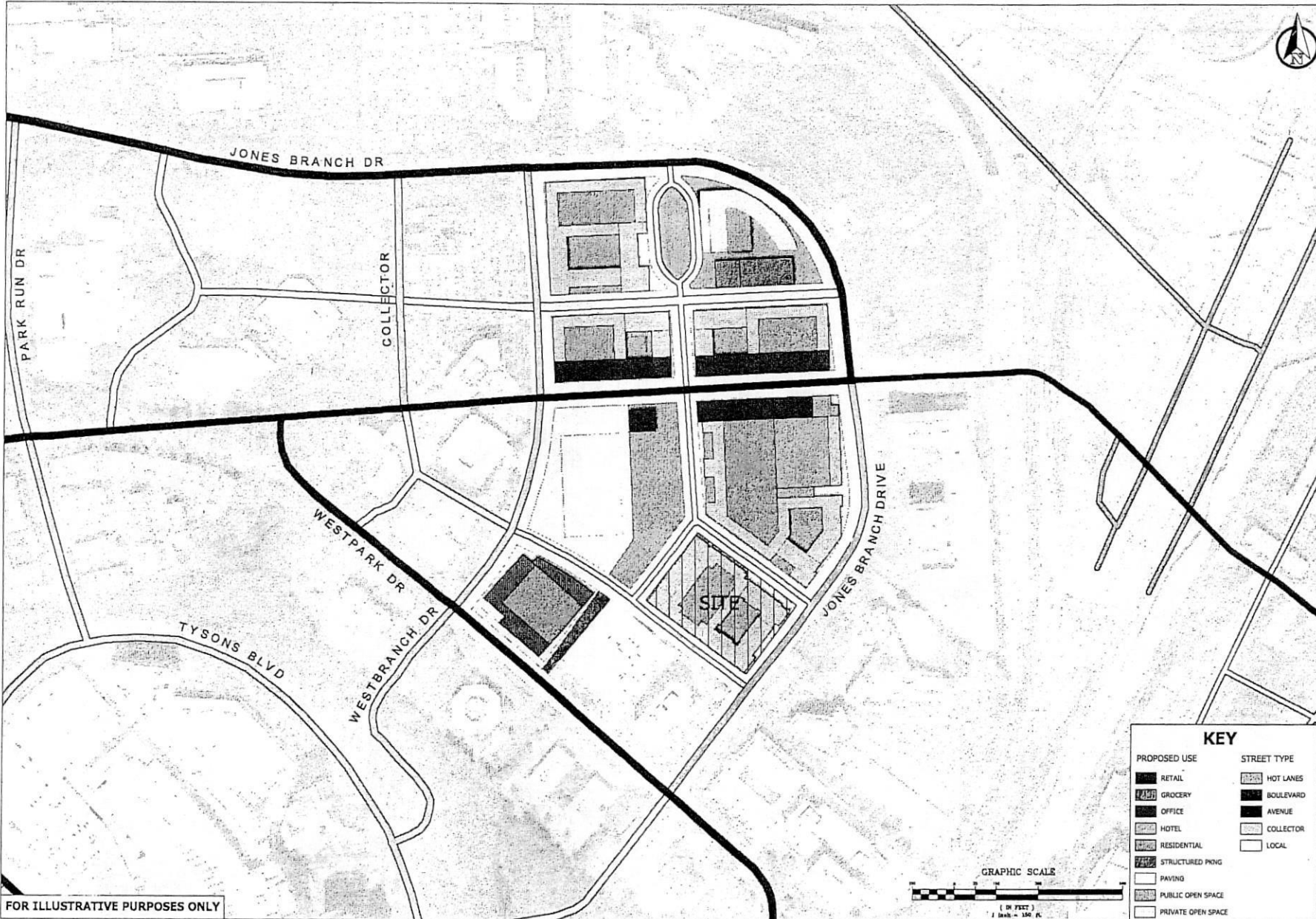
REVISIONS
01.01.2014 COUNTY (C) 01/01/14
02.10.2014 EDP TFP 02/10/14
03.10.2014 CDP TFP 03/10/14
04.10.2014 CDP TFP 04/10/14
05.10.2014 CDP TFP 05/10/14

Streetscape
and Park
Site Furnishings

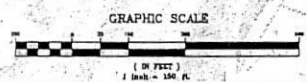
PROPOSED DATE: 2-4-2014
DRAWN BY: JC
CHECKED BY: JC
SCALE: 1/8"=1'-0"

L3.01

CDP/FDP SUBMISSION - 10.02.2014



FOR ILLUSTRATIVE PURPOSES ONLY



KEY	
PROPOSED USE	STREET TYPE
RETAIL	HOT LANES
GROCERY	BOULEVARD
OFFICE	AVENUE
HOTEL	COLLECTOR
RESIDENTIAL	LOCAL
STRUCTURED PAVING	
PAVING	
PUBLIC OPEN SPACE	
PRIVATE OPEN SPACE	

ENGINEERS • PLANNERS • LANDSCAPE ARCHITECTS • SURVEYORS • SUSTAINABLE DESIGN

VIKA DESIGN LLC

8180 GREENBROOK DRIVE, SUITE 200 • FORT LAUDERDALE, FLORIDA 33308

(954) 427-7000 • FAX (954) 981-2787

WWW.VIKAD.COM

CONCEPTUAL MASTER PLAN

7915 JONES BRANCH DRIVE

VIKA REVISIONS

REV.	DATE	DESCRIPTION

DES

REV.	DATE	DESCRIPTION

SCALE

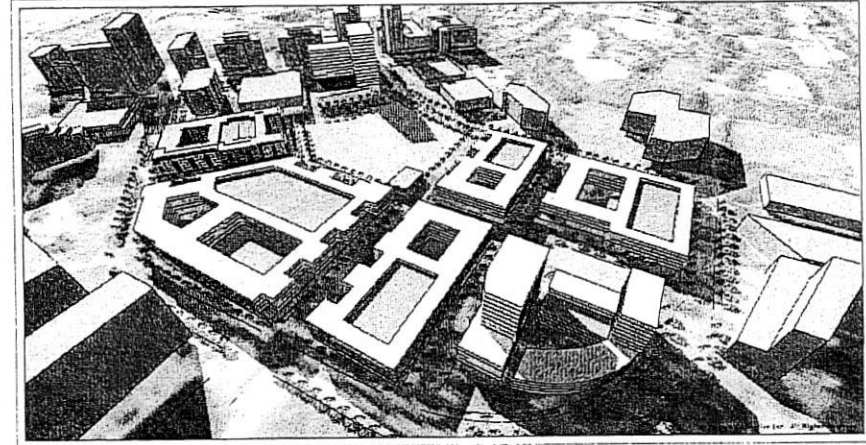
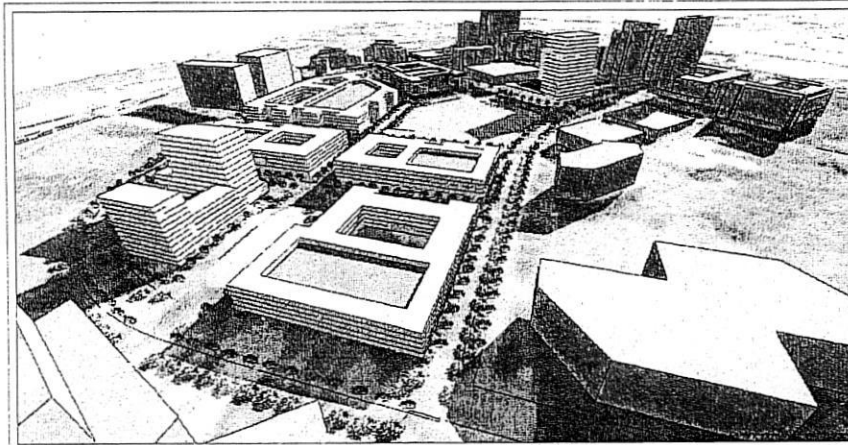
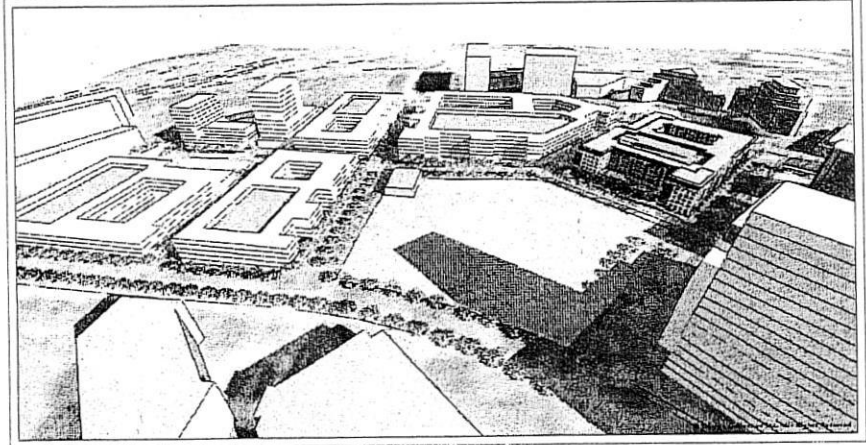
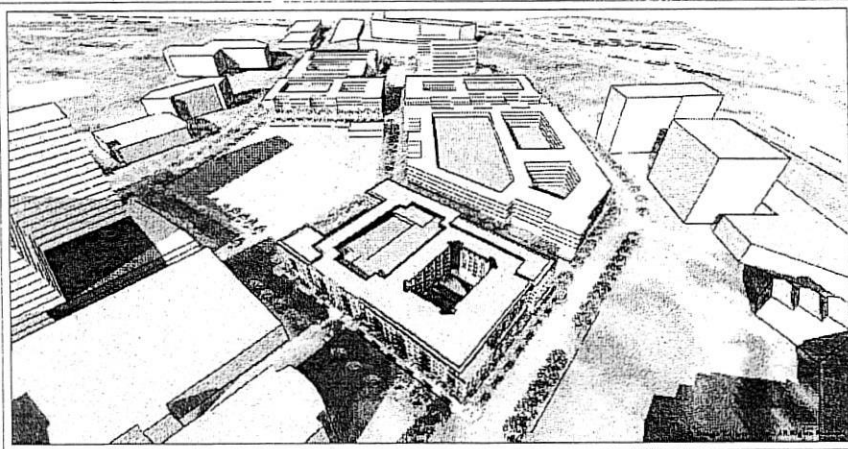
1" = 150'

PROJECT/FILE NO

VV1388F

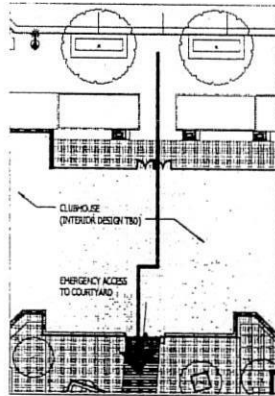
SHEET NO

S-1

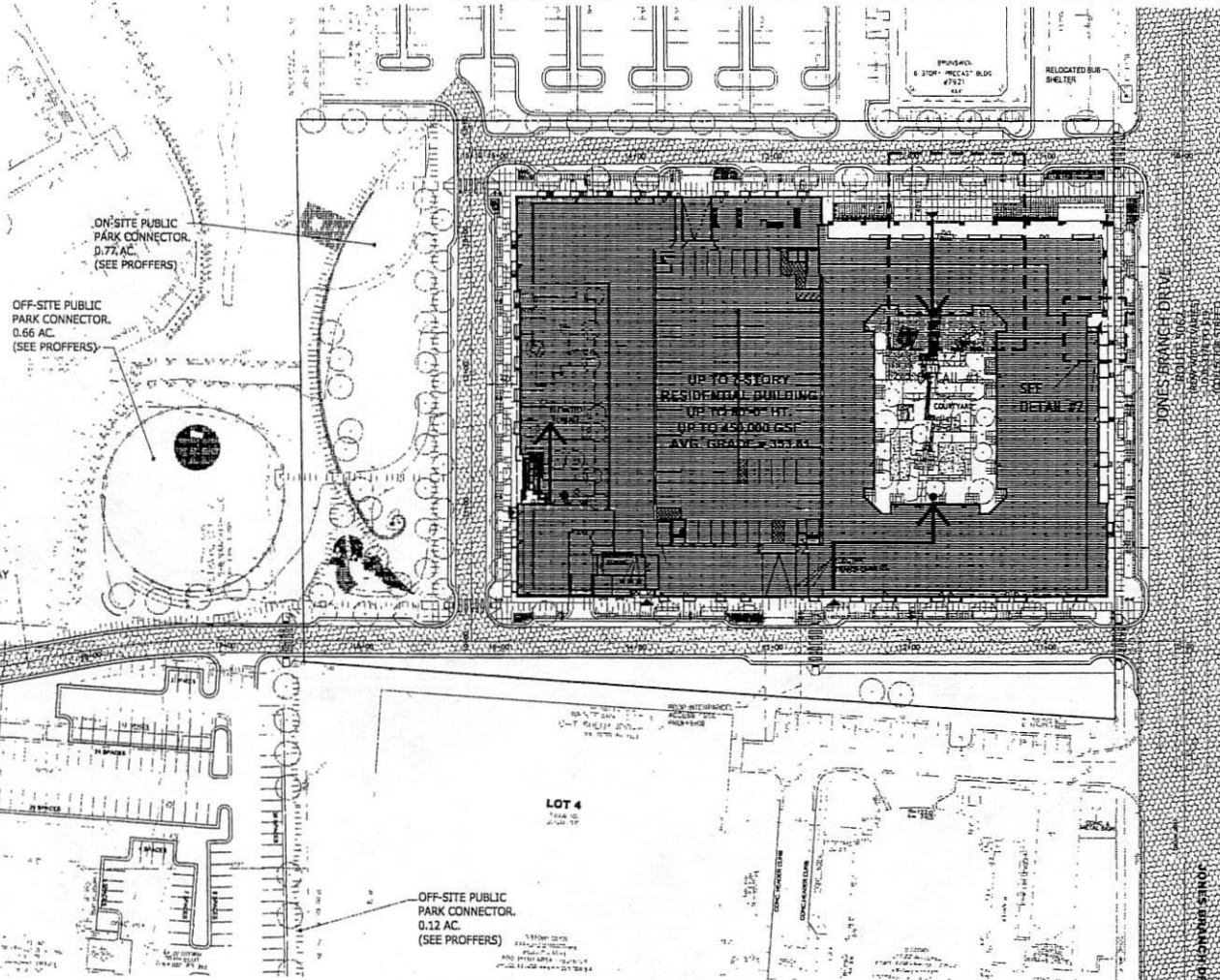


VIKA REVISIONS

REV.	DATE	DESCRIPTION
REV.	10/05/14	
REV.	09/21/14	
REV.	07/16/14	
REV.	05/16/14	
REV.	05/05/14	
INITIAL SUB.	12/18/13	
DES	NRG	DNN
		HEA
SCALE:	1"=150'	
PROJECT/FILE NO.	VV7388F	
SHEET NO.	S-2	



DETAIL #1



BUILDING DATA

BUILDING
TYPE OF CONSTRUCTION
NUMBER OF STORIES
BUILDING HEIGHT
USE GROUP
BUILDING FOOT PRINT
FULLY SPRINKLERED PER NFPA 13
FIRE WALL RATING

RESIDENTIAL
TYPE III OVER TYPE IA PODIUM
6
85'-4" (UP TO 85')
R-2 (RESIDENTIAL) A-3 (CLUBHOUSE & COURTYARDS) S-2 (PARKING)
123,523 S.F.
✓ YES NO
3 HOUR SEPARATION AT PODIUM CAP
3 HOUR FIRE WALL BETWEEN S-2 & R-2
2 HOUR FIRE WALL BETWEEN FIRE ZONES OF R-2

FIRE ACCESS SHEET REQUIREMENTS

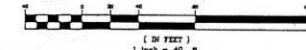
- ALL ROADS PROPOSED BY THE PROJECT, AS WELL AS ADJOINING ROADS, THE CLASSIFICATIONS OF THE ROADS (I.E. ARTERIAL, COLLECTOR, ETC.) SHOULD BE NOTED. (PROVIDED)
- LOCATION AND DIMENSIONS OF ALL FIRE ACCESS LANES AND TURNAROUNDS; VEHICLE ACCESS TO THE REAR OF BUILDINGS, INCLUDING INTERIOR COURTYARDS FOR STICK-BUILD, DONUT-SHAPED BUILDINGS, NEEDS TO BE SHOWN. (PROVIDED)
- ARROW DIAGRAMS INDICATING WHERE EMERGENCY VEHICLES CAN ACCESS BUILDINGS. (PROVIDED)
- DIMENSIONS OF THE DISTANCE BETWEEN THE PORTIONS OF THE ROADWAY THAT ARE ACCESSIBLE TO FIRE TRUCKS AND THE FACADES OF THE BUILDINGS. THE TARGET DISTANCE IS BETWEEN 15 AND 30 FEET SEPARATION. (PROVIDED)
- IMPROVEMENTS PLANNED FOR THE AREA BETWEEN THE PORTIONS OF THE ROADWAY THAT ARE ACCESSIBLE TO FIRE TRUCKS AND THE FACADES OF THE BUILDINGS, INCLUDING PARKING LANES, GARAGE PODIUMS, LANDSCAPED AREAS, STEEP SLOPES, SIDEWALKS, PLAZAS, YARDS, OUTDOOR SEATING AREAS, STEPS, PLANTINGS, SCULPTURES, ETC. (PROVIDED)
- CLEAR IDENTIFICATION OF BUILDING FOOTPRINTS, CANTILEVERED EXTENSIONS, PENTHOUSES, BALCONIES, PATIOS, ETC. (PROVIDED)
- HEIGHTS OF THE PROPOSED BUILDINGS; FOR BUILDINGS WITH MULTIPLE HEIGHTS DUE TO STEP BACKS, THE HEIGHT AND NUMBER OF STORIES OF EACH BUILDING SEGMENT SHOULD BE CLEARLY NOTED. (PROVIDED)
- LOCATION OF OVERHEAD UTILITY LINES. (PROVIDED)
- IDENTIFICATION OF CONSTRUCTION TYPE FOR EACH BUILDING; FOR MULTIPLE BUILDINGS LOCATED ON A SINGLE GARAGE PODIUM, THE CONSTRUCTION TYPE FOR EACH BUILDING MUST BE IDENTIFIED. THE GARAGE PODIUM CAN BE IDENTIFIED AS A BLOCK, WITH EACH BUILDING IDENTIFIED SEPARATELY. EACH PORTION OF STRUCTURE WITH A DIFFERENT CONSTRUCTION TYPE IS CONSIDERED A SEPARATE BUILDING. STRUCTURES THAT ARE SEPARATED BY A FIRE WALL ARE ALSO CONSIDERED SEPARATE BUILDINGS. (PROVIDED)
- TYPE OF BUILDING SEEN MATERIAL (COMBUSTIBLE/NON-COMBUSTIBLE), TYPE OF SPRINKLERS (TYPE 13; IF 13K PLEASE EXPLAIN), AND ROOF TYPE (CLASS A PREFERRED). (PROVIDED)
- LOCATION OF PROPOSED BUILDING ENTRANCES, BOTH PEDESTRIAN AND VEHICULAR, ACCESS DOORS AND ELEVATORS, INCLUDING MEDICARE ELEVATORS, SHOULD BE SHOWN ON THE FDF. ALSO, ANY INTERIOR ROUTES AVAILABLE FOR EMERGENCY VEHICLE USE, SUCH AS SUITABLY SIZED DRIVEWAYS THROUGH PARKING GARAGES AND COURTYARDS, SHOULD BE DELINEATED. (PROVIDED)
- LOADING AREAS AND WHETHER THEY ARE ACCESSIBLE TO EMERGENCY VEHICLES. (PROVIDED)
- ACCESS TO ACTIVE COURTYARDS (ESPECIALLY WITH POOLS, TENNIS COURTS, ETC.) NEEDS TO BE SHOWN - HOW WILL THE MEDICAL STAFF GET THERE, WITH THEIR EQUIPMENT, QUICKLY? (PROVIDED)

LEGEND:

- DENOTES VEHICULAR FIRE ACCESS
- PEDESTRIAN ENTRY
- COURTYARD ACCESS POINT
- EMERGENCY ACCESS

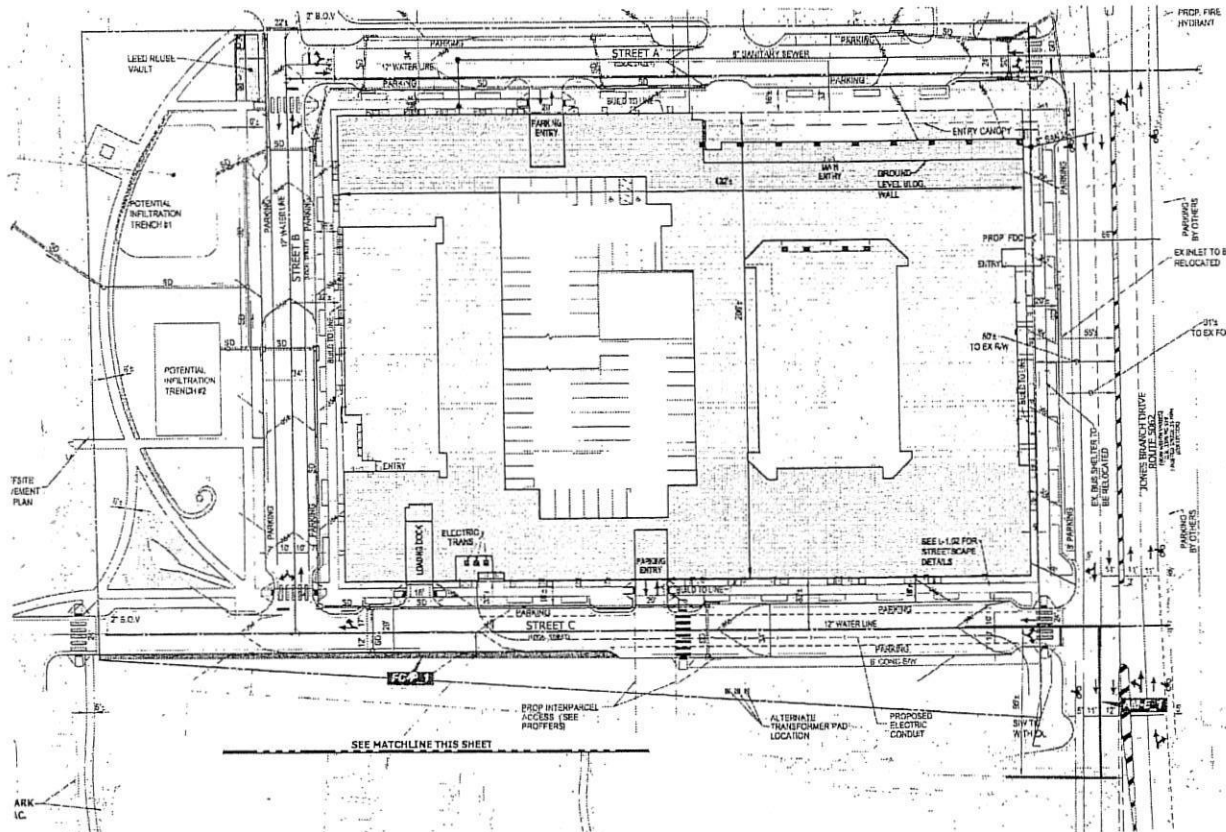


GRAPHIC SCALE



VKA REVISIONS

REV.	DATE	BY	CHK.	DESCRIPTION
REV. 10/02/14				
REV. 08/21/14				
REV. 07/16/14				
REV. 05/16/14				
REV. 03/07/14				
INITIAL SUB. 12/16/13				
DES.				
SCALE:	1"=40'			
PROJECT/FILE NO.	V07306F			
SHEET NO.	S-3			



Summary of Transportation Design Standards for Tysons Corner Urban Center Applicable to 7915 Jones Branch Drive

CLASSIFICATION	COLLECTOR	Jones Branch Drive	LOCAL	Street A	Street B	Street C
CATENA						
Raised/Landscaped Median (Table 5, DS-35)	Optional ¹	✓	N/A	N/A	N/A	N/A
Circulator Route (Table 13, DS-246)	Yes (select routes)	N/A	N/A	N/A	N/A	N/A
On-Street Parking (Table 5, DS-13)	Required (R)	✓	Required (7'-8')	✓	✓	Fixed Valves FCP-1
Target LOS (Table 2, DS-5)	E	✓	E	✓	✓	✓
# of Through Lanes (Table 3, DS-10)	2-4 lanes	✓	2 lanes	✓	✓	✓
Design Speed (Table 3, DS-10)	25-30 mph	✓	25 mph	✓	✓	✓
Operating Speed (Table 3, DS-10)	25-30 mph	✓	25 mph	✓	✓	✓
Unsignalized, Full Access Intersect (Table 4, DS-11)	100'-600'	✓	100'-600'	✓	✓	✓
Driveway Spacing (Table 5, DS-13)	155'	*See Below	10'	✓	✓	✓
Lane Widths (Table 5, DS-13)	10'-11'	✓	10'	11'	11'	11'
Streetscape Zone Width (Table 14, DS-27)	20'-24' + 4'-12' Building zone 6' sidewalk 8' landscaping panel	✓	16'-24' + 4'-12' Building zone 6' sidewalk 8' landscaping panel	20'	✓	✓
Sight Distance (Table 12, DS-23)	155'	✓	155'	✓	✓	✓
Bike Lane (Table 15, DS-29)	6'-4'	✓	N/A	N/A	N/A	N/A

Notes on Requirements:
 1. Evaluated on a case-by-case basis. On circulator routes medians should be 24'-36' on Avenues and Collectors.
 2. Parking may be restricted in the vicinity of circulator routes.
 3. For Collector Streets 10' minimum for streets residential in character and 11' for streets more commercial in nature.
 4. Widths vary depending on location relative to south and curbside parking.

Driveway spacing resulting exceptions:
 Jones Branch Drive
 - Unsignalized driveway spacing Street C south to Parcel 4 driveway, 95' provide, 155' required (1525) (AM-6, 1)

7915 JONES BRANCH DRIVE

PROVIDENCE DISTRICT

FAIRFAX COUNTY, VIRGINIA

TYSONS CORNER TRANSPORTATION DESIGN STANDARDS SUMMARY

Vika Revisions

REV	DATE	DESCRIPTION
REV 10/22/14		
REV 08/21/14		
REV 07/16/14		
REV 05/16/14		
REV 02/03/14		
INITIAL SUB	12/18/13	

DES

DES	RRC	DWN	REA

SCALE:

HTS

PROJECT/FILE NO

V73386F

SHEET NO

5-4

RZ 2014-PR-004

Zoning Application Closeout Summary Report

Printed: 1/14/2015

General Information

APPLICANT: AMHERST PROPERTY LLC
DECISION DATE: 12/02/2014
CRD: NO
HEARING BODY: BOS
SUPERVISOR DISTRICT:
ACTION: APPROVE
STAFF COORD: SUZANNE WRIGHT

DECISION SUMMARY:

ON DECEMBER 2, 2014, THE BOARD UNANIMOUSLY APPROVED RZ2014-PR-004 ON A MOTION BY SUPERVISOR SMYTH SUBJECT TOPROFFERS DATED NOVEMBER 7, 2014.

Zoning Information

Existing Zoning		Proposed Zoning		Approved Zoning	
<u>DISTRICT</u>	<u>AREA</u>	<u>DISTRICT</u>	<u>AREA</u>	<u>DISTRICT</u>	<u>AREA</u>
C- 3	5.75 ACRES	PTC	5.75 ACRES	PTC	5.75 ACRES

Tax Map Numbers

029-4- /07/ /0007-B
029-4- /07/ /0006-

Approved Land Uses

Zoning District: PTC

APPROVED RESIDENTIAL DEVELOPMENT				APPROVED NON-RESIDENTIAL DEVELOPMENT		
<u>LAND USE</u>	<u>DWELLING</u> <u>UNITS</u>	<u>LAND AREA</u>	<u>NO. OF</u> <u>ADU'S</u>	<u>GFA</u>	<u>LAND AREA</u>	<u>FAR</u>
MFD	400	5.75 ACRES				
RETAIL/EST				12,300 SQ FEET	5.75 ACRES	1.88
TOTAL				12,300 SQ FEET	5.75 ACRES	1.88
TOTAL	400	5.75 ACRES				

Approved Waivers/Modifications

SEE FILE FOR ALL WAIVERS AND MODIFICATIONS

Approved Proffers

PROFFER STATEMENT DATE: 11-07-2014

<u>PROFFER</u>	<u>DUE</u>	<u>TRIG #</u>	<u>TRIG EVENT</u>	<u>CONTRIB AMT</u>	<u>EXPIR. DTE</u>
PEDESTRIAN IMPROVEMENTS (CROSSWALKS /BRIDGES /SIGNALS)	01-01-0001	0	N/A	\$0	01-01-0001
PUBLIC MEETING SPACE	01-01-0001	0	N/A	\$0	01-01-0001
BUILDING FOOTPRINT	01-01-0001	0	N/A	\$0	01-01-0001
AFFORDABLE DWELLING UNITS	01-01-0001	0	N/A	\$0	01-01-0001
MINOR MODIFICATION	01-01-0001	0	N/A	\$0	01-01-0001
BEST MANAGEMENT PRACTICES (BMP)	01-01-0001	0	N/A	\$0	01-01-0001
CONTRIBUTION - FCPA / RECREATION	01-01-0001	0	N/A	\$0	01-01-0001
OTHER - LAND USE	01-01-0001	0	N/A	\$0	01-01-0001
FLOOR AREA RATIO (FAR) / GROSS FLOOR AREA (GFA)	01-01-0001	0	N/A	\$0	01-01-0001
SIGHT DISTANCE	01-01-0001	0	N/A	\$0	01-01-0001
ROAD FUNDS	01-01-0001	0	N/A	\$0	01-01-0001
EXTEND / CONNECT PUBLIC STREETS	01-01-0001	0	N/A	\$0	01-01-0001
AMENITY FEATURE - SWM	01-01-0001	0	N/A	\$0	01-01-0001
STREETSCAPE	01-01-0001	0	N/A	\$0	01-01-0001
CONTRIBUTION / OTHER LAND USE	01-01-0001	0	N/A	\$0	01-01-0001
ARCHITECTURE / GREEN BUILDING / LEEDS	01-01-0001	0	N/A	\$0	01-01-0001
SIGNAGE	01-01-0001	0	N/A	\$0	01-01-0001
TREE PRESERVATION / SURVEY	01-01-0001	0	N/A	\$0	01-01-0001
LANDSCAPE PLAN REQUIRED	01-01-0001	0	SITE PLAN	\$0	01-01-0001
PARKING GARAGES	01-01-0001	0	N/A	\$0	01-01-0001
PROFFERED PLANS	01-01-0001	0	N/A	\$0	01-01-0001
OTHER - ENVIRONMENT	01-01-0001	0	N/A	\$0	01-01-0001
EXISTING STRUCTURES (RETAIN)	01-01-0001	0	NON-RUP	\$0	01-01-0001
BICYCLE RELATED FACILITIES	01-01-0001	0	N/A	\$0	01-01-0001
RECREATION FACILITIES	01-01-0001	0	N/A	\$0	01-01-0001
TRANSPORTATION DEMAND MANAGEMENT PROGRAM (TDM)	01-01-0001	0	N/A	\$0	01-01-0001
BUS STOP / SHELTER / MAINTENANCE	01-01-0001	0	N/A	\$0	01-01-0001
CONTRIBUTION - SCHOOLS	01-01-0001	0	N/A	\$0	01-01-0001
FRONTAGE IMPROVEMENTS	01-01-0001	0	N/A	\$0	01-01-0001
DRAINAGE IMPROVEMENT OFF-SITE	01-01-0001	0	N/A	\$0	01-01-0001
OFF-SITE IMPROVEMENT - RECREATION	01-01-0001	0	N/A	\$0	01-01-0001
HOA ESTABLISH	01-01-0001	0	N/A	\$0	01-01-0001
PARKING	01-01-0001	0	N/A	\$0	01-01-0001
INTERPARCEL ACCESS	01-01-0001	0	N/A	\$0	01-01-0001
SCREEN TELECOMMUNICATIONS EQUIPMENT	01-01-0001	0	N/A	\$0	01-01-0001
INTERIM USE	01-01-0001	0	N/A	\$0	01-01-0001
HEIGHT - BUILDING / STRUCTURE	01-01-0001	0	N/A	\$0	01-01-0001
WORKFORCE HOUSING	01-01-0001	0	N/A	\$0	01-01-0001

Approved Development Conditions

DEVELOPMENT CONDITION STATEMENT DATE: 11-04-2014

<u>DEVELOPMENT CONDITION</u>	<u>DUE</u>	<u>TRIG #</u>	<u>TRIG EVENT</u>	<u>CONTRIB</u>	<u>EXPIR DTE</u>
BUFFER	01-01-0001	0	N/A	0	01-01-0001
MINOR MODIFICATIONS	01-01-0001	0	N/A	0	01-01-0001
OTHER - TRANSPORTATION	01-01-0001	0	N/A	0	01-01-0001
BONUS DENSITY	01-01-0001	0	N/A	0	01-01-0001

FDP 2014-PR-004

Zoning Application Closeout Summary Report

Printed: 1/14/2015

General Information

APPLICANT: AMHERST PROPERTY LLC
DECISION DATE: 11/06/2014
CRD: NO
HEARING BODY: PC
SUPERVISOR DISTRICT:
ACTION: APPROVE
STAFF COORD: SUZANNE WRIGHT

DECISION SUMMARY:

ON NOVEMBER 6, 2014, THE PLANNING COMMISSION UNANIMOUSLY APPROVED FDP 2014-PR-004 ON A MOTION BY COMMISSIONER HEDETNIEMI SUBJECT TO DEVELOPMENT CONDITIONS DATED NOVEMBER 4, 2014 AND TO THE BOARD'S APPROVAL OF THE REZONING RZ 2014-PR-004.

Zoning Information

Existing Zoning		Proposed Zoning		Approved Zoning	
<u>DISTRICT</u>	<u>AREA</u>	<u>DISTRICT</u>	<u>AREA</u>	<u>DISTRICT</u>	<u>AREA</u>
				PTC	5.75 ACRES

Tax Map Numbers

029-4- /07/ /0007-B
029-4- /07/ /0006-

Approved Land Uses

Zoning District: PTC

APPROVED RESIDENTIAL DEVELOPMENT				APPROVED NON-RESIDENTIAL DEVELOPMENT		
<u>LAND USE</u>	<u>DWELLING</u> <u>UNITS</u>	<u>LAND AREA</u>	<u>NO. OF</u> <u>ADU'S</u>	<u>GFA</u>	<u>LAND AREA</u>	<u>FAR</u>
MFD	400	5.75 ACRES				
RETAIL/EST				12,300 SQ FEET	5.75 ACRES	1.80
TOTAL				12,300 SQ FEET	5.75 ACRES	1.80
TOTAL	400	5.75 ACRES				

Approved Waivers/Modifications

SEE FILE FOR ALL WAIVERS AND MODIFICATIONS

Approved Development ConditionsDEVELOPMENT CONDITION STATEMENT DATE: 11-04-2014

<u>DEVELOPMENT CONDITION</u>	<u>DUE</u>	<u>TRIG #</u>	<u>TRIG EVENT</u>	<u>CONTRIB</u>	<u>EXPIR DTE</u>
BUFFER	01-01-0001	0	N/A	0	01-01-0001
MINOR MODIFICATIONS	01-01-0001	0	N/A	0	01-01-0001
OTHER - TRANSPORTATION	01-01-0001	0	N/A	0	01-01-0001
BONUS DENSITY	01-01-0001	0	N/A	0	01-01-0001



COUNTY OF FAIRFAX
Department of Planning and Zoning
Zoning Evaluation Division
12055 Government Center Parkway, Suite 801
Fairfax, VA 22035 (703) 324-1290, TTY 711
www.fairfaxcounty.gov/dpz/zoning/applications

APPLICATION No: RZ/FDP 2014-PR-004

(Assigned by staff)

RECEIVED
Department of Planning & Zoning

DEC 20 2013

Zoning Evaluation Division

APPLICATION FOR A REZONING
(PLEASE TYPE or PRINT IN BLACK INK)

PETITION

TO: THE BOARD OF SUPERVISORS OF FAIRFAX COUNTY, VIRGINIA

I (We), Amherst Property LLC, the applicant (s) petition you to adopt an ordinance amending the Zoning Map of Fairfax County, Virginia, by reclassifying from the C-3 District to the PTC District the property described below and outlined in red on the Zoning Section Sheet(s) accompanying and made part of this application.

APPLICATION TYPE(S):	PCA	()	CDP	(X)	FDP	(X)	CDPA	()	FDPA	()
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LEGAL DESCRIPTION:

See attached				
Lot(s)	Block(s)	Subdivision	Deed Book	Page No.

TAX MAP DESCRIPTION:

29-4	((7))		6, 7B pt.	5.75363 acres
Map No.	Double Circle No.	Single Circle No.	Parcel(s)/Lot(s) No.	Total Acreage

POSTAL ADDRESS OF PROPERTY:

7915 and 7921 Jones Branch Drive

ADVERTISING DISCRIPTION: (Example - North side of Lee Highway approx. 1000 feet west of its intersection with Newgate Blvd.)

West of Jones Branch Drive (Route 5062) approximately 400 feet north of its intersection with Westpark Drive (Route 5061)

PRESENT USE: Office building with associated parking lot

PROPOSED USE: Delete land area to permit RZ to PTC

MAGISTERIAL DISTRICT: Providence

OVERLAY DISTRICT (S):

The name(s) and address(s) of owner(s) of record shall provided on the affidavit form attached and made part of this application. The undersigned has the power to authorize and does hereby authorize Fairfax County staff representative on official business to enter on the subject property as necessary to process the application.

Martin D. Walsh, attorney/agent

Type or Print Name

Walsh, Colucci, Lubeley, Emrich & Walsh, P.C.

2200 Clarendon Blvd., Suite 1300, Arlington, VA 22201

Address

M.D. Walsh
Signature of Applicant or Agent

(Work) (703) 528-4700

(Mobile)

Telephone Number

Please provide name and telephone number of contact if different from above:

Elizabeth D. Baker 703-528-4700

DO NOT WRITE BELOW THIS SPACE

Date application accepted: 2/5/14

Virginia Ruffner

Fee Paid \$ 35,350.00



NOVEMBER 18, 2013

DESCRIPTION OF

**THE PROPERTY OF
PS BUSINESS PARKS LP
DEED BOOK 21446, PAGE 1976
DEED BOOK 21144, PAGE 1981
TAX MAP NO. 29-4 ((7)) 6
TAX MAP NO. 29-4 ((7)) 7B**

FAIRFAX COUNTY, VIRGINIA

Being all of the Lot Six (6), WESTPARK SUBDIVISION, as recorded in Deed Book 4040 at Page 333 and a portion of Lot Seven (7) B, WESTPARK SUBDIVISION, as recorded in Deed Book 4944 at Page 58, all among the Land Records of Fairfax County, Virginia and being more particularly described as follows:

Beginning at a point on the westerly right-of-way line of Jones Branch Drive, Route 5062 (variable width), at the common corner of aforesaid Lot 6 and Lot 4, WESTPARK SUBDIVISION, (Deed Book 4040, Page 333); thence departing from said Westerly right-of-way line of Jones Branch Drive and running with common line between said Lot 6 and said Lot 4

1. North $49^{\circ}14'17''$ West, 594.17 feet to the common corner of said Lot 4, Lot 8, WESTPARK SUBDIVISION (Deed Book 4040, Page 333) and Lot 11A WESTPARK SUBDIVISION (Deed Book 4740, Page 305); thence leaving the common line of said Lot 6 and Lot 4 and running with the common line of said Lot 6 and Lot 11A
2. North $36^{\circ}05'32''$ East, 400.56 feet to a point on the common line of said Lot 7b and said Lot 11A; thence leaving said common line of said Lot 7b and Lot 11A and running so as to cross and include a portion of said Lot 7b
3. South $53^{\circ}14'17''$ East, 597.41 feet to a point on the aforesaid westerly right-of-way line of Jones Branch Drive; thence running with said westerly right-of-way line of Jones Branch Road
4. South $36^{\circ}45'43''$ West, 441.98 feet to the point of beginning containing 250,628 square feet or 5.75363 acres of land, and being more particularly shown on a certified plat prepared by VIKVA, VA LLC and dated October 9, 2013

P:\projects\7388\VV7388E\CADD\SURVEYS\EXHIBITS\VV7388E-CERTIFIED PLAT.doc

VIKA Virginia, LLC

8180 Greensboro Drive, Suite 200 * Tysons Corner, Virginia 22102 * 703.442.7800 Fax 703.761.2787
Tysons Corner, VA * Germantown, MD * Washington, DC

www.vika.com